

# *Rancho Cucamonga Town Square Master Plan Design Standards*



*Adopted by the Planning Commission  
August 22, 2001*

*Design Standards Revisions  
September 26, 2002*

DK-00-79

# *Rancho Cucamonga Town Square Master Plan Design Standards*

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## 1.0 INTRODUCTION

### 1.1 AUTHORITY AND SCOPE

The RANCHO CUCAMONGA TOWN SQUARE Master Plan area consists of approximately 31.3 net acres and is located in the northern portion of the Haven Avenue Overlay District, which includes both sides of Haven Avenue from the south side of Foothill Boulevard to the north side of 4<sup>th</sup> Street. The Haven Avenue Overlay District is discussed in Sections 17.30.060.E.1 and 17.30.080.A of the Rancho Cucamonga Development Code. Similarly, the project is located in Subarea 7 as discussed in Section 17.30.080.H of the Development Code. Subarea 7 occupies an area directly south of Foothill Boulevard, which represents an important land use edge between the City's industrial areas and a large master planned community to the north.

The purpose of the Overlay District is to establish design guidelines and development standards that address the unique setting and character of the Haven Avenue Corridor. As part of the Haven Avenue Overlay District requirements, a Master Plan must be prepared for the RANCHO CUCAMONGA TOWN SQUARE project and submitted to the Planning Commission for approval. This Master Plan document complies with the City of Rancho Cucamonga's Master Plan requirements and is consistent with the standards listed on pages 17.30-55 of the City's Development Code. In addition, this Master Plan complies with the standards for Subarea 7, which are contained in Section 17.30.080 of the Development Code.

Because Haven Avenue is the major travel route in Rancho Cucamonga, it has been designated by the City as a "Special Boulevard." The City wishes to focus on high-quality office and professional development along this corridor in hopes of enhancing the City's image. To achieve this end, special development standards were developed and are now in place that allow or prohibit certain building types, locations, sizes and densities, encourage pedestrian travel, support architectural variety, and enhance the visual aspects of the development by using attractive landscaping design.

The project site was formerly zoned as "Industrial Park" adjacent to Haven Avenue and Foothill Boulevard, and "Medium-High Residential" adjacent to the Deer Creek Flood Control Channel and Civic Center Drive. On July 18, 2001, the City Council adopted a Development District Amendment that changed the zoning for the entire property to "Mixed Use." In conjunction with approval of the Development District Amendment, the City Council also approved a Development Code Amendment, which established development standards for the "Mixed-Use" designation of Subarea 19 of the Industrial Districts section in the Rancho Cucamonga Development Code.

### 1.2 REQUIRED ENTITLEMENTS AND DISCRETIONARY ACTIONS

Required entitlements and actions associated with the RANCHO CUCAMONGA TOWN SQUARE project include:

- A. A General Plan Amendment request from "Industrial Park" and "Medium-High Residential" land use designations to a "Mixed-Use" land use designation. This General Plan Amendment was approved by the City Council on July 18, 2001.

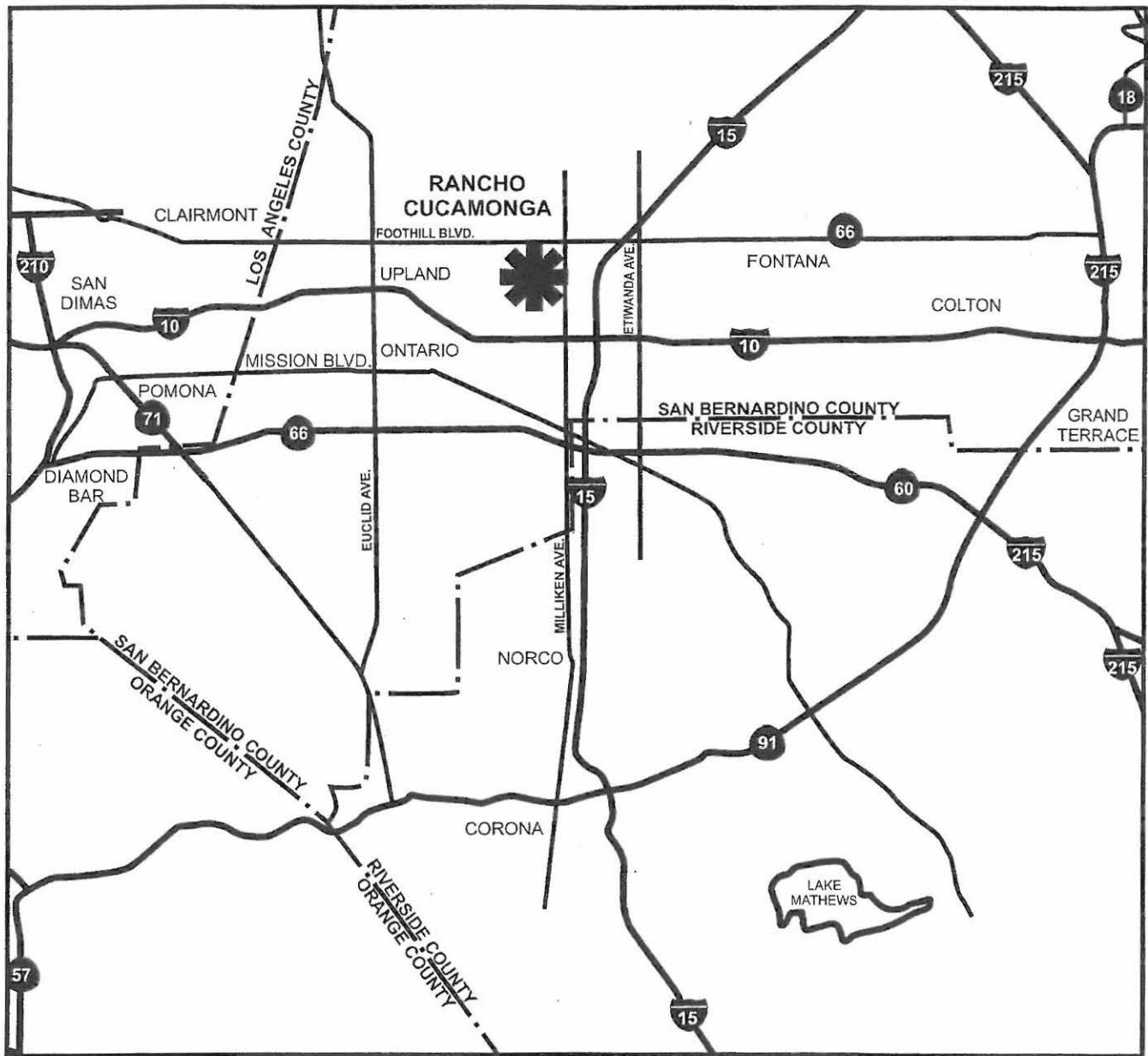
- B. A Development District Amendment to change the existing zoning districts from “Industrial Park” and “Medium-High Residential” to “Mixed-Use.” This Development Code Amendment was approved by the City Council on July 18, 2001.
- C. A Development Code Amendment to the Rancho Cucamonga Development Code that establishes development standards for the “Rancho Cucamonga Town Square Mixed-Use District.” The Development Code Amendment was approved by the City Council on July 18, 2001.
- D. A Master Plan subject to Chapter 17.30, *Industrial Districts*, of the Rancho Cucamonga Development Code,
- E. Development/Design Review – Commercial/Industrial and Development/Design Review – Residential. Design Review Committee (DRC) hearings were held at City Hall on July 3 and July 17, 2001, respectively. A meeting of the Technical Review Committee was held on July 5, 2001.
- F. A Tentative Tract Map, and
- G. A Final Tract Map.

In addition, an Initial Study/Environmental Checklist, as well as a Negative Declaration was prepared for the project and circulated for public review in accordance with California Environmental Quality Act Section 21091 and 21092 of the Public Resources Code. The Initial Study identified potentially significant effects, but revisions in the project plans were made to or agreed to by the applicant before the proposed Negative Declaration was released for public review that avoided the potential effects or mitigated the potential effects to a point where clearly no significant effects would occur.

### 1.3 PROJECT LOCATION

The RANCHO CUCAMONGA TOWN SQUARE project site is currently operated as a vineyard on approximately 31.3 acres in the center of town at the southwest corner of Foothill Boulevard and Haven Avenue (see Figure 1, *Regional Location Map*). The property is located within Township 1 South, Range 7 West, Section 11 and is located 1 ¼ miles west of Interstate 15 within the City of Rancho Cucamonga. More specifically, the site is bounded on the north by Foothill Boulevard (Old Route 66), to the east by Haven Avenue, to the south by Civic Center Drive, and on the west by the Deer Creek drainage channel, an improved concrete channel (see Figure 2, *Vicinity Map*).

# Rancho Cucamonga Town Square



INDICATES PROPERTY SITE

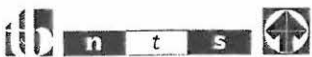
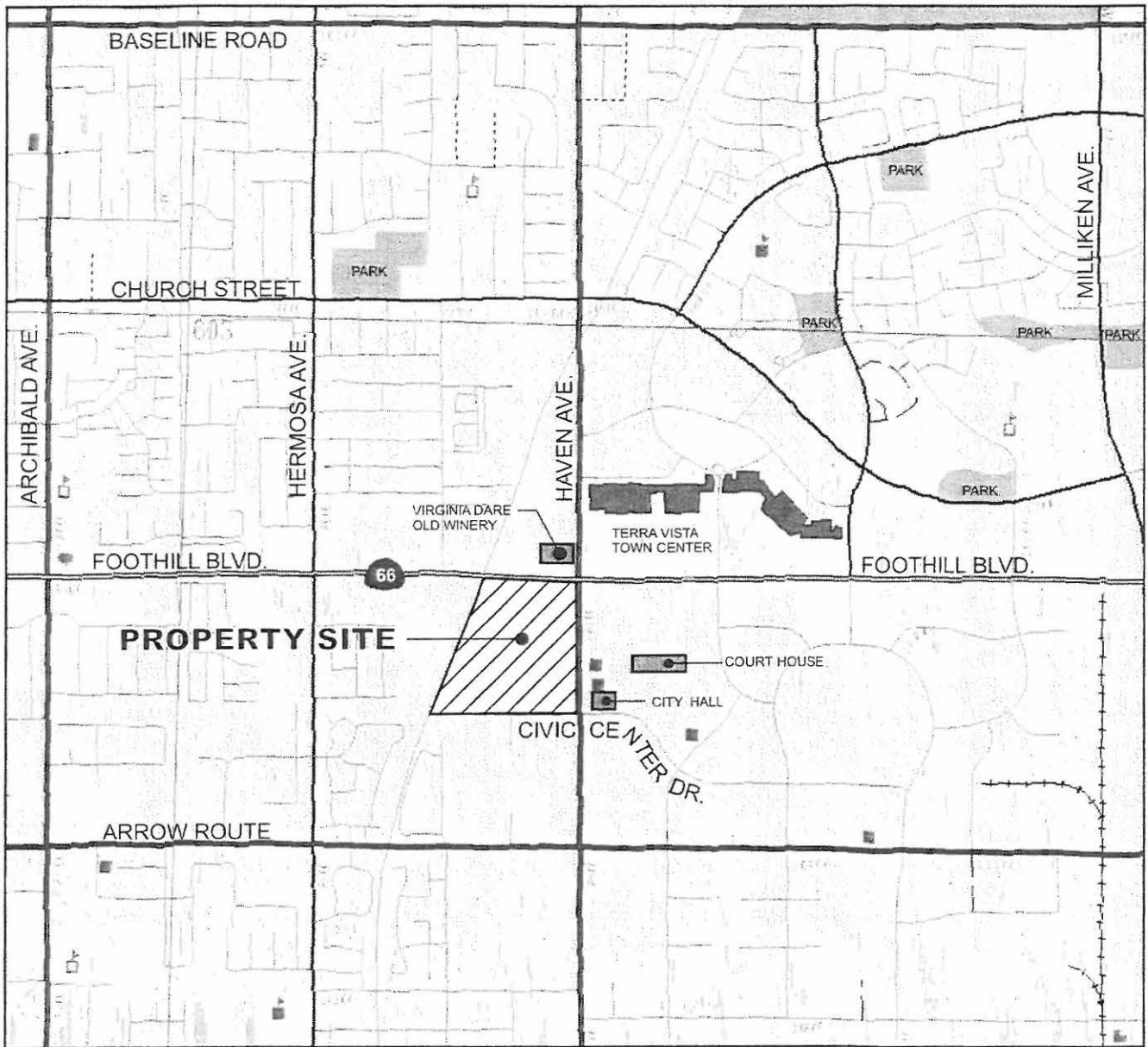


Figure 1  
**REGIONAL LOCATION MAP**

# Rancho Cucamonga Town Square



SOURCE: THOMAS BROS. MAPS

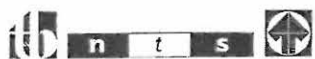


Figure 2  
**VICINITY MAP**

### 1.4 EXISTING AND SURROUNDING LAND USES

#### 1.4.1 On-Site Land Uses

The subject property is flat with little topographic relief, with elevations ranging from approximately 1190± to 1205± feet above mean sea level (see Figure 3, *Topographic Map*). At present, the land is used as a vineyard and contains a farm house and some outbuildings (see Figure 4, *Aerial Photo*). There are some scattered old rusting farm equipment on-site that was formerly used to harvest and process the grapes.

Vegetation diversity on the site is low (*Results of Focused Delhi Sands Flower-Loving Fly Surveys*). Those portions of the site that are not used to cultivate grapes have been colonized by ruderal (weedy) herbs and grasses, with only one native plant species (western ragweed) detected on-site. Bird species, such as the American crow, house sparrow, and northern mocking bird have been observed on-site. Other wildlife species observed include, side-blotched lizard, pocket gopher, desert cottontail, and domestic cat. No Delhi sands flower-loving flies were observed during studies conducted by Impact Sciences, Inc. in April 1999 and August to September 2000. Soils on site appear to be comprised of unconsolidated sandy and loamy soils with mixed cobbles. The site is mapped as having Delhi fine sand in the southeast and Tujunga loamy sand in the west.

#### 1.4.2 Surrounding Land Uses

The site is surrounded on all sides by existing development, except to the south, which includes an isolated vacant parcel that is being used as a vineyard (see Exhibit 5, *Surrounding Land Uses*). To the west of the project site, an existing drainage channel (i.e., the Deer Creek drainage channel) abuts the entire length of the project's western property boundary. A regional multi-purpose trail is located between the project site and the concrete channel. Just north of the site across Foothill Avenue, is the old Virginia Dare Winery and assorted business park development. To the northeast of the site lies the Terra Vista Town Center, a large retail center. The Barton Plaza office complex, San Bernardino County Justice Center, and Rancho Cucamonga City Hall are located to the east, directly across Haven Avenue from the project site. The areas directly south of the project site include an area of vacant land and the Mountain Vista and Monterey Village Apartment Homes complexes.

### 1.5 HISTORICAL PERSPECTIVE

The history of Rancho Cucamonga began long before the popular vineyards of the past were in place. The City actually derives its name from the Native American tribe, the Kucamongan, who lived in the area of Red Hill as far back as 3000 years. Scientists believe that the tribe may have been one of the largest, most concentrated and most expansive indigenous groups in North America.

As Spain was increasing their presence in America, grapes and vineyards were introduced to the area. The first vineyards were planted in Rancho Cucamonga at the Mission San Gabriel, one of many missions, established by Father Junipera Serra, over 200 years ago. Prior to the 1970's, much of the area of Rancho Cucamonga was dominated by these vineyards. In light of this, the City strives to protect its rich agricultural past by incorporating historical elements into new developments. The RANCHO CUCAMONGA TOWN SQUARE supports the City's desire by creating a heritage plaza on-site that will incorporate real grape vines, as well as displays of historical pieces of equipment used in grape harvesting and wine production.

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# Rancho Cucamonga Town Square



SOURCE: HUNSAKER & ASSOCIATES



Figure 3  
**TOPOGRAPHIC MAP**



# Rancho Cucamonga Town Square





# Rancho Cucamonga Town Square



DATE FLOWN: NOVEMBER 21, 1998

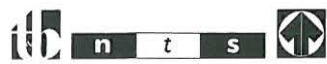


Figure 5  
**SURROUNDING LAND USES**

### 1.6 CITY HOUSING NEEDS

The popularity of Rancho Cucamonga is evident by the rapid population growth since the 1970's. From 1978 to 1987, less than ten years, the City's population increased by 7.9 percent. The current population is estimated at 117,000 and is expected to grow to 170,000 by the year 2010. As of 1996, 45 percent of the City's land was undeveloped which helped to accommodate the future growth. Most of the development, including the RANCHO CUCAMONGA TOWN SQUARE project, is taking place west of Haven Avenue. The fast growing population of Rancho Cucamonga has forced City officials to adopt new housing plans to help reduce the impact that new residents will have on the existing town and its inhabitants. Smaller, modern master plans, as identified in the Rancho Cucamonga General Plan, reflect this increased demand. The City is striving to provide new residents with modern, safe housing in proximity to area commercial and office development. This Master Plan allows for development of up to 414 dwelling units on-site that will help the City as it strives to meet the unprecedented demand for new housing.

The City has also adopted a series of ordinances to increase the efficiency in providing new housing and amenities for its residents while maintaining the heritage and communities it serves. These are found in the *Industrial Area Specific Plan* for the City of Rancho Cucamonga (revised) and include City Ordinances Numbers 297, 321, 333, 336, 339, 367, 431, and 442. Please see the *Industrial Area Specific Plan* for a detailed description of these ordinances.

### 1.7 PROJECT GOALS

The RANCHO CUCAMONGA TOWN SQUARE project is a mixed-use, urban development that is consistent with the City's desire to maintain significant architecture on Haven Avenue, while creating a sense of place and a central activity focus. The uses blend professional with retail and service commercial uses. In addition, the project site provides for high density residential uses and live/work units within easy walking distance to the centrally-located plaza (DeAmbrogio Heritage Plaza), retail uses, restaurants, and a 5-story office building. Thus, the project would provide employment, shopping, recreation, and housing for the Rancho Cucamonga community, and meet the goal of providing a pedestrian, urban lifestyle within and immediately adjacent to the site.

More specifically, the objective and goals of the RANCHO CUCAMONGA TOWN SQUARE project are to create:

- GOAL 1: A true mixed-use development that provides opportunity for residents and visitors, the opportunity to experience the flavor, culture, and history of the community in an urbanized setting.
  - GOAL 2: A pedestrian-oriented environment where all users have the opportunity to experience an environment less reliant on and less impacted by the automobile.
  - GOAL 3: A broad-based "activity center" connecting shopping, dining, residential, and recreation areas with plazas and walkways.
  - GOAL 4: A people-oriented community with plazas and public spaces where people can freely and easily congregate and interact with one another.
-

- GOAL 5: A community that is consistent with the Rancho Cucamonga General Plan, the Rancho Cucamonga Development Code, and the Haven Avenue Overlay District.
- GOAL 6: Retains the agricultural heritage of the land by incorporating grape vines and historical grape harvesting and processing equipment into De Ambrogio Heritage Plaza.
- GOAL 7: Preserves the original character of the region by incorporating architectural style elements historically found in the Rancho Cucamonga area.
- GOAL 8: A new environment that incorporates the City's theme of the preserving the past with the current and future needs of the community.
- GOAL 9: A development that combines landscape and urban design elements to lessen the visual impact of parking lots and help create the urban edge that the City desires.
- GOAL 10: A conveniently accessible place for the local residents and people employed at the area offices, County facilities, City Hall, the Terra Vista Town Center, and other retail areas to come and visit and relax.

### 1.8 PROJECT SUMMARY

RANCHO CUCAMONGA TOWN SQUARE will be a true mixed-use facility providing opportunities for work, housing, recreation and community interaction. The project will provide for high density dwelling units, a four-story office building, various retail opportunities, two restaurants, a specialty market, a large central plaza (De Ambrogio Heritage Plaza), and internal circulation and parking. Section 2 of this Master Plan provides more detail of each of the project's land uses.

All of these features and buildings within the TOWN SQUARE will be arranged around the project's central feature, the DeAmbrogio Heritage Plaza. Parkways along Foothill Boulevard and Haven Avenue will contain meandering walkways and green turf, loosely defined stands of evergreen and deciduous trees, and berms covered with grass and colorful shrubs. The mixed-use development will provide open space and give residents a sense of place as well as a strong sense of security.



## 2.0 PLAN ELEMENTS

### 2.1 LAND USE PLAN

#### 2.1.1 Overview

The project applicant, Burnett Companies, is proposing to construct a new mixed-use development to be called RANCHO CUCAMONGA TOWN SQUARE. Designed as a horizontally and vertically mixed-use project, RANCHO CUCAMONGA TOWN SQUARE is based on the City's desire to establish a strong sense of place with a central activity focus at the intersection of Foothill Boulevard/Haven Avenue. The project integrates professional uses with retail, service commercial and community-oriented uses. In addition, there will be a gated apartment complex with 348 freestanding apartment units, 32 apartment lofts that will be built over retail uses, and a work/live building which will feature 18 one bedroom flats and 16 combined live/work units. These land uses are designed to conform, as much as possible, with the Haven Avenue Overlay District and the *Industrial Areas Specific Plan*. A statistical summary of the anticipated development appears in Table 2-1, *Land Use Summary*. Figure 6, *Illustrative Site Plan*, shows the planned land uses for the development site.

The provision of residential uses on-site will create an immediate market for retail and service uses, thereby making a pedestrian-oriented, urban lifestyle possible. RANCHO CUCAMONGA TOWN SQUARE includes sidewalks and paseos, as well as connections to the adjacent off-site Deer Creek Regional Multi-System Trail, to facilitate pedestrian movement on and through the site. In addition, the project includes a central plaza (De Ambrogio Heritage Plaza), smaller plazas, and vest pocket meeting areas to encourage the public to congregate and socialize. The project is designed to accommodate pedestrian access through the RANCHO CUCAMONGA TOWN SQUARE project site from the south to the nearby Terra Vista Town Center shopping area, which is located to the northeast of the project site, and to the Rancho Cucamonga City Hall/San Bernardino County Court House complex, which is located directly across Haven Avenue for the site. The project includes a provision for a pedestrian bridge (sponsored in part by the Redevelopment Agency and/or the City) over Haven Avenue to encourage pedestrian movement between the project and the Rancho Cucamonga Civic Center/San Bernardino County Court House.

In addition, the proposed project would be surrounded on the northern and eastern boundaries by an expansive linear parkway featuring meandering walkways, rolling-contoured turf areas, masses of colorful shrubs, and ground covers. The streetscape tree species will closely adhere to City standards and guidelines to reinforce and continue the master-planned community theme with special consideration given to using trees that are resistant to pollution and drought. The corner of Foothill Boulevard and Haven Avenue, as a City-designated "Activity Center," will receive a special design treatment in the form of a visual focal point to anchor this area of the project. The regional trail system will flow through this corner to provide continuous pedestrian traffic opportunities. Enhanced paving, benches, a "Town Center" pylon/monument, retaining walls, groves of date palms, flowering and shade trees, and a fountain with spillways flanked on either side by dramatic staircases, will be provided as amenities at this corner.



TABLE 2-1  
LAND USE SUMMARY

Land Use Category	Acreage	Number of Dwelling Units	Density (Dwelling Units Per Acre)	Commercial/Office Building Square Footage
High Density Residential (24-30 du/ac)	17.81	348	23.24	--
Mixed-Use Building		32		2,769
Live/Work Building		16 live/work units 18 one bedroom apartments		4,144
Office	2.49	--	--	120,000 <sup>2</sup>
Retail	2.30	--	--	19,559
Restaurants <sup>3</sup>	0.85	--	--	13,775
Specialty Market/Retail	1.20	--	--	15,600
Total Paved Areas (Plazas/Private Drives/Parking Areas) <sup>4</sup>	6.75	--	--	--
<b>TOTAL</b>	<b>31.4</b>	<b>414</b>		<b>181,547</b>

Notes:

<sup>1</sup> Acreage includes areas devoted to apartments, landscaping, open space, private recreation center, and De Ambrogio Heritage Plaza.

<sup>2</sup> The office building will have four floors.

<sup>3</sup> Includes a moderate-price restaurant and a specialty restaurant on freestanding pads.

<sup>4</sup> Includes plaza areas in front of mixed-use, retail and office buildings; and all parking areas and aisles.



# Rancho Cucamonga Town Square



SOURCE: UNITED DOMINION REALTY TRUST



Figure 6  
ILLUSTRATIVE SITE PLAN



The RANCHO CUCAMONGA TOWN SQUARE project will be developed in four phases, beginning in late 2001, with each subsequent phase occurring approximately one year later.

### 2.1.2 Mixed-Use Development

#### A. High Density Residential

As shown on Figure 6, *Illustrative Site Plan*, 334 High Density dwelling units (i.e., apartments) are located on the western half of the project site, away from noise and traffic on Foothill Boulevard and Haven Avenue. Within the 414 –unit apartment complex there will be a clubhouse/leasing center which will be located on the main floor of the mixed use building. This center will feature a swimming pool and spa, fitness center, business center, game room with billiards and a clubhouse with a fully equipped kitchen. In addition to the clubhouse there will be several amenities located throughout the complex including tot-lots, barbeque grills, and an outdoor fireplace. Various open “free-play” turf areas will also be provided, as well as a jogging trail with exercise stations. A combination solid wall/open fence and landscape buffer will be provided adjacent to the property’s western property boundary, which abuts the drainage channel. The entire apartment development will be gated with one primary and two secondary vehicular access points. All apartments will be provided with a minimum one-car enclosed garage.

The proximity of the apartment complex to the other uses within the RANCHO CUCAMONGA TOWN SQUARE will provide residents with convenient pedestrian access to the Deer Creek Regional Multi-System Trail to the west, and to the De Ambrogio Heritage Plaza and internal-project pedestrian trail (i.e., Terra Vista Trail) to the east. The Terra Vista Trail, which traverses through the center of the RANCHO CUCAMONGA TOWN SQUARE project, serves to connect the off-site Terra Vista Town Center shopping complex with the Deer Creek Regional Multi-System Trail. Residents will also have convenient access to the on-site restaurants, specialty market, retail, and service commercial uses.

#### B. Mixed-Use Building (Loft Apartments Over Retail)

One mixed-use structure is planned directly adjacent to the De Ambrogio Heritage Plaza. This mixed-use structure will consist of three stories. The first floor will consist of 2,769 square feet of retail uses and 12,574 square feet of leasing and resident uses. The second and third stories will consist 32 apartments units. Attached garages will be located in proximity to the apartments; each apartment will be provided with a one-car enclosed garage. Accordingly, these apartments, in conjunction with the 348 garden style apartments, 18 one bedroom flats and 16 live/work building, will result in construction of a maximum of 414 dwelling units on-site. Residents of the apartments will have convenient access to De Ambrogio Heritage Plaza and walking distance to the variety of uses proposed on-site.

#### C. Live/Work Building

The RANCHO CUCAMONGA TOWN SQUARE development includes an innovative building, which is intended to serve as a transition between the apartment complex and the commercial uses on-site. This building will consist of 16 live/work units and 18 one bedroom flats. The live/work concept is based on the historical live/work model of an apartment over a shop on Main Street, USA, as was frequently seen during the early part of the 20<sup>th</sup> century. Live/work units provide both working and living spaces for a wide range of low impact commercial uses, such as artisans,

craftsmen, lawyers, travel agents, computer-related jobs, and professional services, which might prefer a store front work space with adjacent living area.

All live/work units will be equipped with the same facilities required in residential buildings, including hot water, kitchen facilities, heating and air conditioning, natural light and ventilation, electrical power, and sound transmission control (noise attenuation) between adjoining units. Because these spaces are intended not only for living, but also for working, these units may require additional ventilation, noise attenuation, high speed internet access, and electrical power and other utility requirements more often found in commercial structures.

D. Retail Commercial Uses

Retail commercial land uses are located along the northern and eastern portions of the project site. Commercial land uses include: (1) 19,559 square feet of traditional retail uses, (2) 2,769 square feet of retail uses located within the same building as the 32 apartments, (3) 4,144 square feet of live/work retail uses, (4) two freestanding restaurants totaling 13,775 square feet; and (5) a 15,600-square-foot specialty market/retail building.

The central focus of this retail area is a motor court surrounded by retail shops on both sides, a combination retail/apartment building on a third side (see Mixed-Use discussion above), and the Foothill Boulevard/Haven Avenue intersection to the north. This motor court is designed to function as a highly-articulated pedestrian/vehicular-use space featuring enhanced, textured pavers, tree wells with iron grates, benches, colorful planting spaces, theme lighting, canopies of date palms and assorted shade trees. On weekends or special occasions, the plaza can be closed off to vehicular traffic and be restricted to pedestrian/people-oriented functions, such as a farmer's market, product displays, holiday festivities, etc. Throughout the commercial/retail areas, street furniture, arbors, walkways and plants will create a pleasant environment for shoppers, strollers, diners, and business people, and will reinforce the historical vineyard/winery theme.

The retail uses are conveniently located adjacent to residential uses to encourage a development that emphasizes an urban activity zone. Most of the retail uses are either oriented to Foothill Boulevard or the Foothill Boulevard/Haven Avenue intersection. This hub of retail will provide services not only to the on-site residents, but also to those people working within the RANCHO CUCAMONGA TOWN SQUARE project and nearby office buildings. Accordingly, this retail area will be developed with neighborhood-type commercial uses to support the surrounding off-site uses.

Two restaurant buildings are sited on the eastern portion of the project site, fronting on Haven Avenue. The building closer to the Foothill Boulevard/Haven Avenue Intersection will include 2 restaurants and will provide a convenient location for moderate-priced eating opportunities for the surrounding community. The second restaurant, a specialty restaurant, is located near the intersection of Haven Avenue/Civic Center Drive and will be a higher end restaurant.

The specialty market may consist of such businesses as *Trader Joes*, *Mother's Market*, or *Henry's Marketplace*. It will be conveniently located adjacent to Foothill Boulevard, within a short walk of the on-site residential uses. The market is located adjacent to the Foothill Boulevard right-of-way to maximize visibility to passing motorists, while creating a more interesting street scene. The design of the market will be consistent with the surrounding uses.

E. Office Uses

A four-story, 120,000-square-foot office building is located on the eastern portion of the site, between the two restaurants pads. Access to the office space will be provided off of Haven Avenue and Civic Center Drive. The Class A office building will provide jobs for the Rancho Cucamonga community. The building will be conveniently located near off-site existing and on-site planned housing. It is anticipated that employees of the office building will patronize on-site restaurant and retail uses, contributing to the economic vitality of the overall project.

2.1.3 Summary of Residential Uses

As mentioned above, the RANCHO CUCAMONGA TOWN SQUARE project will construct 348 freestanding apartment, 32 mixed-use apartments, and a special building containing 16 live/work units and 18 one bedroom flats. The apartment complex will include a mix of studio, one, two, and three bedroom apartments. The following table (Table 2-2, Residential Project Summary), summarizes important information relative to these on-site residential uses.

<b>TABLE 2-2 RESIDENTIAL SUMMARY</b>		
<b>PROJECT AREA</b>		
<i>Gross Residential Area (Including area to centerline of abutting streets)</i>		17.81 Acres
<i>Net Residential Area (Exclusive of dedication for major external &amp; secondary streets)</i>		16.75 Acres
<b>DWELLING UNITS (Based on Net<sup>1</sup> Area)</b>	<b>Number</b>	<b>Percent of Total Units</b>
Single Family Detached	NA	NA
Single Family Attached	NA	NA
<b>Multi-Family Condominium:</b>		
Live/Work Units	16	3.50%
Studio	2	.50%
One Bedroom <i>(includes 18 one bedroom flats in mixed use building)</i>	174	42%
Two Bedrooms	174	42%
Three Bedrooms	48	12%
Four Bedrooms	NA	NA
<b>TOTAL</b>	<b>414</b>	<b>100.0%</b>
<b>AREA DISTRIBUTION (Based on Net Area)</b>	<b>Acres/Sq. Ft.</b>	<b>% of Net Area<sup>1</sup></b>
<i>Building Coverage</i>	4.75	28%

<i>Landscape Coverage</i>	5.25	32%
<i>Common Open Space</i>	5.75	34%
<i>Private Open Space</i>	1.00	6%
<i>Usable Open Space (Common + Private)</i>	6.75	40%

<sup>1</sup>Assumes a net residential area of 16.75 acres. Does not include non-residential portions of the project site.

<sup>2</sup>Includes patios and ground floor balconies.

**2.1.4 Non-Residential Project Summary**

The RANCHO CUCAMONGA TOWN SQUARE project includes a mix of residential and non-residential uses. The non-residential uses consist of two freestanding restaurant buildings, a specialty market, general retail and support commercial uses, a four-story office building, and the live/work uses. There is also a mixed-use building that contains 32 apartments over retail uses and the leasing & resident center. See Table 2-3, *Non-Residential Project Summary*, for more detailed information regarding the non-residential uses on-site.

<b>PROJECT AREA</b>			
<i>Gross (Including area to centerline of abutting streets)</i>			16.64± Acres
<i>Net (Exclusive of dedication for major external and secondary streets)</i>			12.97± Acres
<b>AREA DISTRIBUTION (Based on Net Area)</b>		<b>Acres/Sq. Ft.</b>	<b>% of Net Area</b>
<i>Building Coverage</i> 2.0 / 88,060 sq. ft. <sup>1</sup>			17%
<i>Landscape Coverage</i> 4.2 / 182,924 sq. ft.			32%
<i>Vehicular Coverage (Including Parking)</i> 6.7 / 294,207 sq. ft.			51%
<b>FLOOR AREA DISTRIBUTION BY PROPOSED USE (Based on Net Area)</b>			
<i>Area of Building Pad</i>	<i>No. of Stories</i>	<i>Gross Floor Area (sq. ft.)</i>	<i>Proposed Use</i>
23,750 sq. ft.	1	8,000	Specialty Restaurant
19,468 sq. ft.	1	6,400	Restaurant
45,361 sq. ft.	4	120,000 <sup>2</sup>	Office



20,713 sq. ft.	1	15,600	Specialty Market/Retail
74,567 sq. ft.	1	19,559	Retail
33,432 sq. ft.	1	2,769	Mixed-Use Retail

<sup>1</sup>Excludes mixed-use building, which is counted as residential development for the purposes of this analysis, in order to avoid “double counting” of acreages and square footages.

<sup>2</sup>Ground floor area for the office building is 25,000 square feet.

## 2.2 CIRCULATION PLAN

### 2.2.1 Roadway Systems

Figure 7, *Circulation Plan*, illustrates the existing roadway network that surrounds the RANCHO CUCAMONGA TOWN SQUARE project. The project site is bounded on the north by Foothill Boulevard (Route 66), on the east by Haven Avenue, and on the south by Civic Center Drive. The portion of Civic Center Drive located east of Haven Avenue provides access to the City Hall and County Court House, while the portion of Civic Center Drive located west of Haven Avenue dead ends at the Deer Creek drainage channel. This portion of Civic Center Drive provides access to the project site and to the Mountain Vista Apartment Homes. The City’s General Plan Land Use Plan identifies the Foothill Boulevard/Haven Avenue intersection as an intensive activity node.

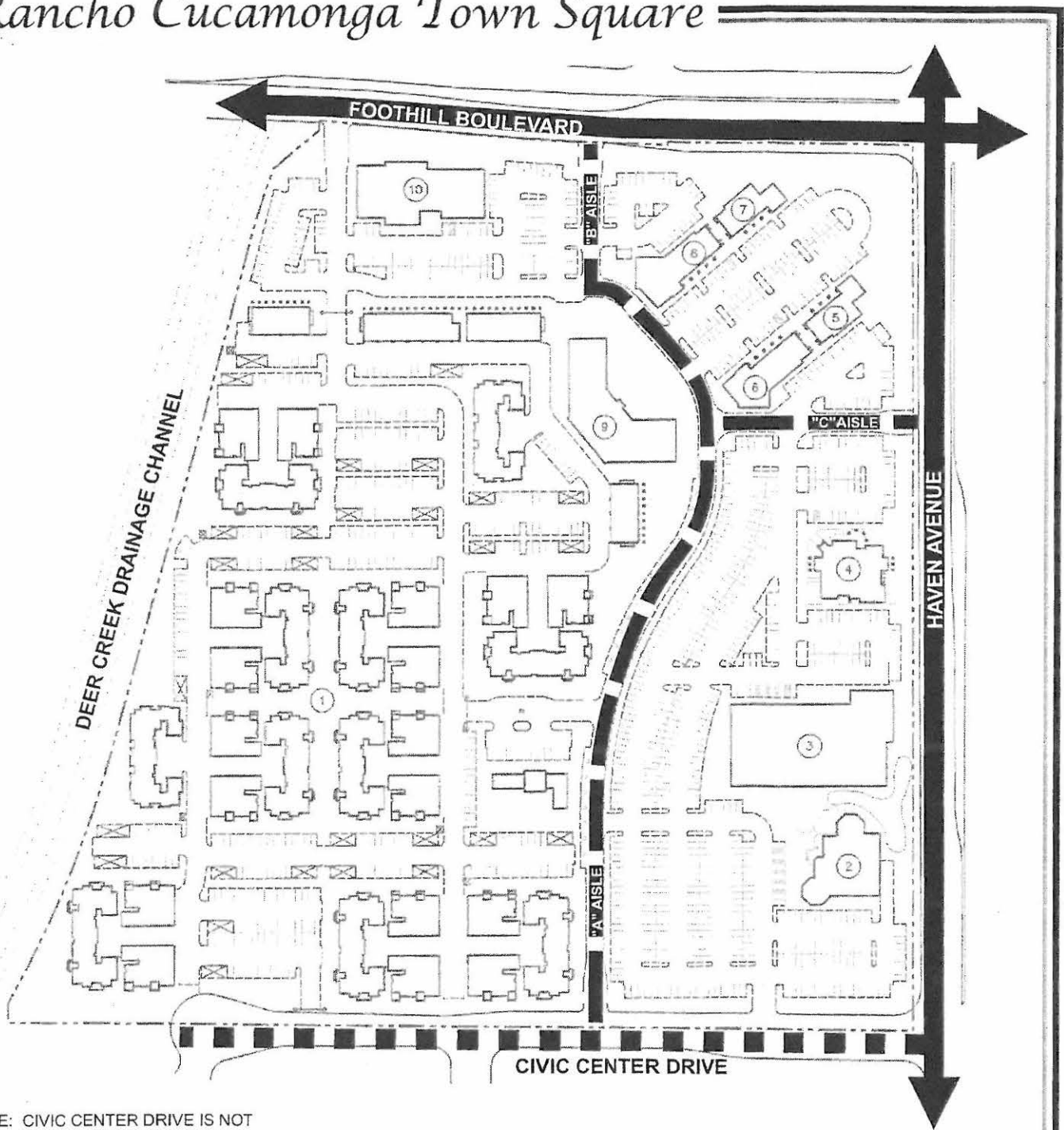
Access into the RANCHO CUCAMONGA TOWN SQUARE project will be available from Foothill Boulevard, Haven Avenue, and Civic Center Drive. Private aisles (i.e., "A", "B", and "C" Aisles) will connect Foothill Boulevard with Civic Center Drive and serve to route internal project circulation. Most of the project-generated traffic will use "A", "B", and "C" Aisles to access the various uses on-site.

#### A. Foothill Boulevard (Route 66)

Foothill Boulevard (Route 66) is classified as a Major Divided Arterial. Furthermore, the street has been designated as a “Special Boulevard.” The portion of Foothill Boulevard located adjacent to the project site was widened from four to six lanes during the second half of 2000. Previously, the City installed median islands. The next step in the City’s continuing efforts to improve Foothill Boulevard involves creating a Design Improvement Plan for the entire length of Foothill Boulevard in Rancho Cucamonga, from Grove Avenue to East Avenue. By developing upon existing streetscape patterns and enhancing them with historic elements of Old Route 66, a unifying theme of visual improvements will be create.

The project includes an average 45-foot wide building setback from the edge of the curb. This area will be developed as a landscaped parkway with a meandering pedestrian path that runs parallel to Foothill Boulevard (see Section 3.2). The trail will meander in and out of Foothill

# Rancho Cucamonga Town Square



NOTE: CIVIC CENTER DRIVE IS NOT IDENTIFIED ON THE CITY'S GENERAL PLAN CIRCULATION MASTER PLAN

SOURCE: CUCAMONGA GENERAL PLAN

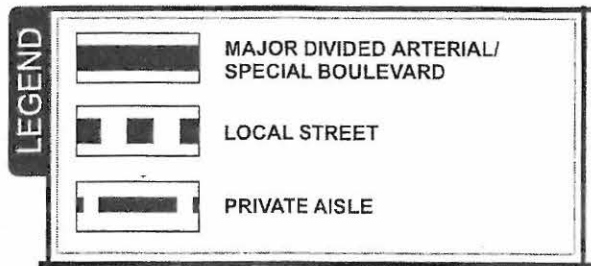


Figure 7  
**CIRCULATION PLAN**

Boulevard's 126-foot right-of-way. This improvement would require the project to improve approximately 875 linear feet of the Foothill Boulevard right-of-way (from the concrete curb to the project's property boundary) along the property's street frontage. In addition, the project provides for two access driveways off of Foothill Boulevard. A roadway cross-section of Foothill Boulevard (after widening) is depicted on Figure 8A, *Roadway Cross-Sections*.

B. Haven Avenue

Haven Avenue is an existing four-lane Major Divided Arterial designated as a "Special Boulevard." The project would provide an average 45-foot wide meandering pedestrian path within a portion of the 134-foot right-of-way that abuts the project site's eastern property boundary (see Section 3.2). That improvement would require the project to improve approximately 1,300 linear feet of the Haven Avenue right-of-way (from the concrete curb to the project's property boundary) along the property's street frontage. In addition, the project provides for one access drive off of Haven Avenue. A roadway cross-section of Haven Avenue is depicted on Figure 8A, *Roadway Cross-Sections*.

C. Civic Center Drive

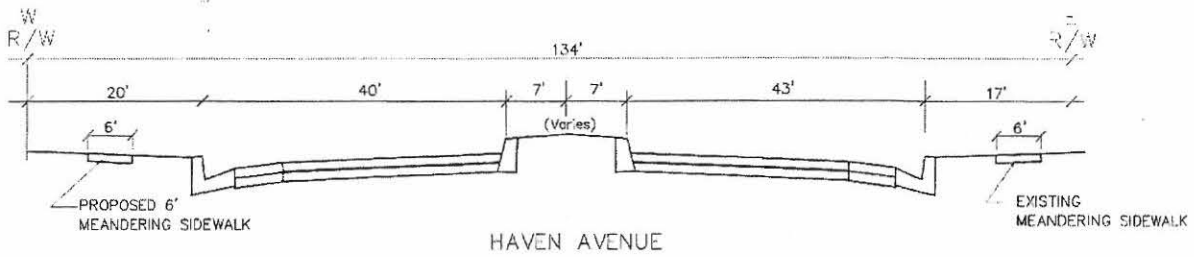
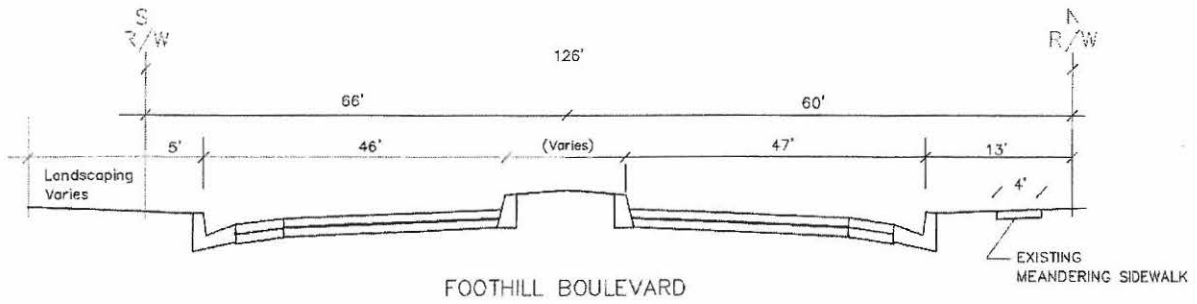
Civic Center Drive is an existing 2-lane arterial within a 88-foot right-of-way that abuts the project site's southern property boundary. This roadway ends as a cul-de-sac toward the project site's western property boundary. The project will construct curbs and gutters and a landscape parkway with sidewalk on the north side of Civic Center Drive. Two access driveways will be provided on the north side of Civic Center Drive. Figure 8B, *Roadway Cross-Sections*, includes a cross section of Civic Center Drive with improvements. The actual roadway cross-section of Civic Center Drive will vary between Haven Avenue and the Deer Creek Drainage Channel.

D. "A", "B", and "C" Aisles (Private Aisles)

The project provides for three 34-foot-wide private aisles (i.e., "A", "B", and "C" Aisles) through the project site, which will allow for direct access to the various on-site uses. "A" Aisle will consist of a 26-foot wide driving aisle and an 8-foot wide parking strip along the west side of the aisle. "B" Aisle will be built with a 28-foot-wide pavement width, consisting of two 14-foot wide driving lanes, and "C" Aisle will be built with a 26-foot wide pavement width, consisting of two 13-foot wide driving lanes. The width of the parkways on either side of "A" Aisle will vary with the amount of parking and sidewalk provided along various segments of the aisle. Figure 8C, *Roadway Cross-Sections*, includes cross-section of "A", "B", and "C" Aisles.

Access to "A" Aisle will be provided directly from Civic Center Drive, with access to "B" Aisle available from Foothill Boulevard, and access to "C" Aisle available from Haven Avenue. Landscaping and monumentation and various internal access points will be provided along the entire length of these private aisles. On-street parking stalls will be provided on the western portion of "A" Aisle only; there will be no parking permitted on the east side of "A" Aisle. Sufficient fire truck access will be provided within the aisle pavement widths, including the various internal access points that occur along length of the aisles.

# Rancho Cucamonga Town Square



SOURCE: HUNSAKER & ASSOCIATES

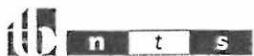
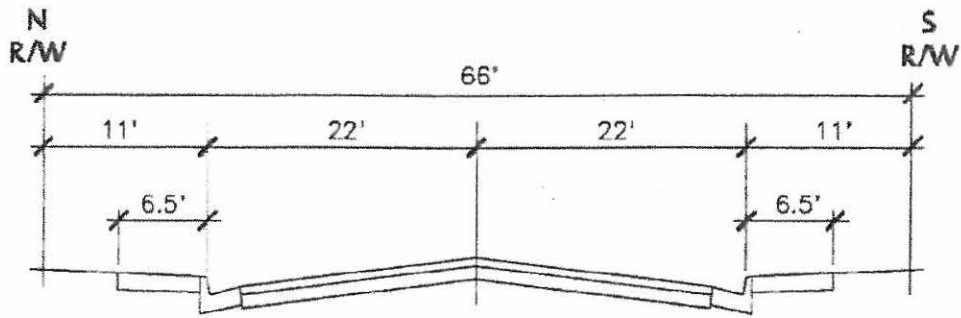


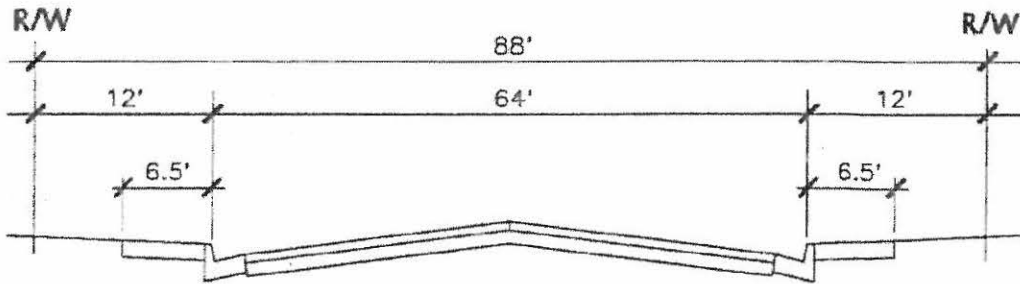
Figure 8a  
**ROADWAY CROSS SECTIONS**

# Rancho Cucamonga Town Square

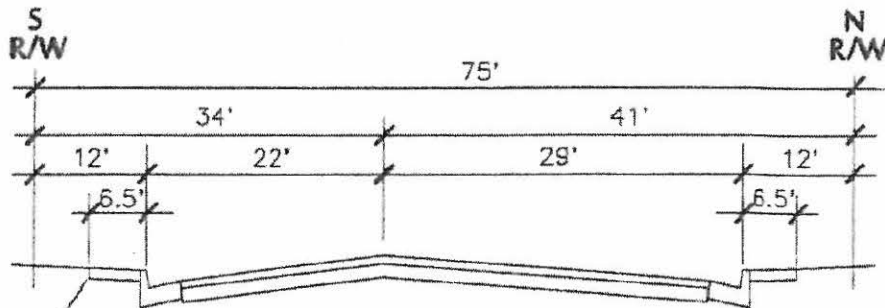


## CIVIC CENTER DRIVE

From 700' east of Foothill Blvd. intersection to end of cul-de-sac.



## CIVIC CENTER DRIVE



## CIVIC CENTER DRIVE ( AT T-SECTION OF "A" STREET )

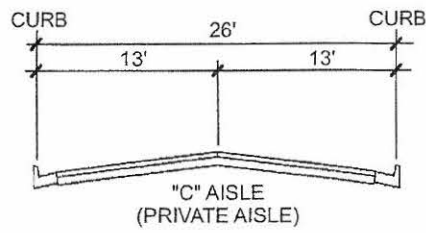
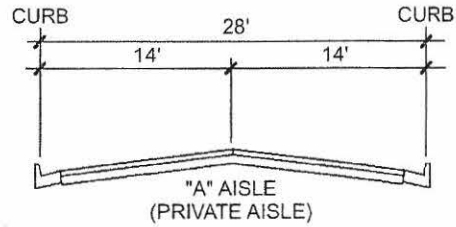
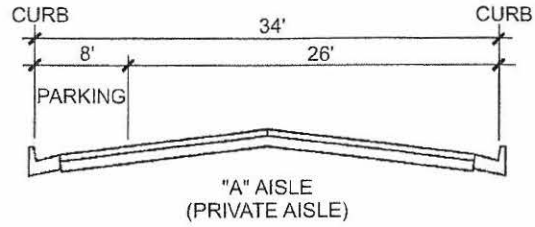
SOURCE: HUNSAKER & ASSOCIATES



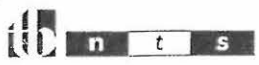
## ROADWAY CROSS SECTIONS

Figure 8b

# Rancho Cucamonga Town Square



SOURCE: HUNSAKER & ASSOCIATES





E. Special Impact Area

The Foothill Boulevard/Haven Avenue intersection is identified in the General Plan Circulation Plan Element as a Special Impact Area. The Circulation Element of the City's General Plan includes the following statement: "*Prior to significant development within these special impact areas [which includes the Foothill Boulevard/Haven Avenue intersection], detailed analysis of potential traffic constraints should be incorporated into the development plans.*" A detailed traffic analysis will be undertaken concurrently with preparation of the necessary environmental documentation for the RANCHO CUCAMONGA TOWN SQUARE project.

**2.2.2 Alternative Transportation**

The project provides opportunities for the future residents, employees, and patrons of the project site to access the site via alternative modes of transportation. The existing bicycle trail along Deer Creek provides easy access to the first driveway access off of Foothill Boulevard. Bicycle racks, in accordance with City codes and requirements, will be provided throughout the commercial, office, and residential uses. Existing bus stops are located on Foothill Boulevard and Haven Avenue, which are within walking distance to the project site. The project will provide a recessed bus stop on the west side of Haven Avenue at a safe distance from the intersection of Foothill Boulevard. The transit authority is expected to provide standard passenger waiting facilities, including a covered bus shelter, at this location. If a bus shelter is required by the transit authority, the shelter shall reflect the architectural-style associated with Phase 1 development of RANCHO CUCAMONGA TOWN SQUARE project.

**2.2.3 Off-Street Parking Requirements**

The RANCHO CUCAMONGA TOWN SQUARE project proposes shared parking for non-residential uses. The residential uses will comply with standard City of Rancho Cucamonga off-street parking requirements. Table 2-4, *Off-Street Parking Requirements*, on the following page, sets forth the number of parking spaces required and provided for by use type.

**TABLE 2-4  
OFF-STREET PARKING REQUIREMENTS**

**ESTIMATED OFF-STREET PARKING FOR RESIDENTIAL USES**

Type of Use	Parking Ratio	# of Units	# of Spaces Required	# of Spaces Provided
Single Family – Detached	NA	NA	NA	NA
Single Family – Attached	NA	NA	NA	NA
Live/Work (One Bedroom)	1.5 / unit	0	0	0
Multi-Family Apts./Condo: Studio	1.3 / unit	2	2.6	2.6
One Bedroom	1.5 / unit	174	261	261
Two Bedrooms	1.8 / unit	188	388	388
Three Bedrooms	2.0 / unit	50	100	100
Four Bedrooms	2.3 / unit	NA	NA	NA
Guest Parking	0.25 / unit	414	104	104
<b>TOTAL RESIDENTIAL</b>	---	<b>414</b>	<b>806</b>	<b>806</b>

**ESTIMATED OFF-STREET PARKING FOR NON-RESIDENTIAL USES**

Type of Use	Parking Ratio	# of Spaces Required	# of Spaces Provided
Specialty Restaurant	10/1000 GSF	124	599
Restaurant	10/1000 GSF	97	
Office	4/1000 GSF	500	
<b>SUBTOTAL</b>		<b>721</b>	<b>599</b>
Specialty Market/Retail	5/1000 GSF	69	69
<b>SUBTOTAL</b>		<b>69</b>	<b>69</b>
Retail	5/1000 GSF	95	168
Mixed-Use Bldg. Retail	5/1000 GSF	70	
<b>SUBTOTAL</b>		<b>165</b>	<b>168</b>
<b>TOTAL NON-RESIDENTIAL</b>		<b>955</b>	<b>875*</b>

\* A parking analysis prepared by Darnell & Associates, Inc. in July 2001 indicates that 875 stalls will adequately meet the demand for non-residential parking based on use patterns of the retail, office, and restaurant uses.

**2.3 OPEN SPACE AND TRAILS PLAN**

RANCHO CUCAMONGA TOWN SQUARE includes several pedestrian plazas, an internal trail system with connections to a nearby regional trail, landscaped parkways, a central plaza (“town square”). The relationship of these amenities to one another is depicted in Figure 9, *Open Space and Trails Plan*. A description of the various facilities follows.

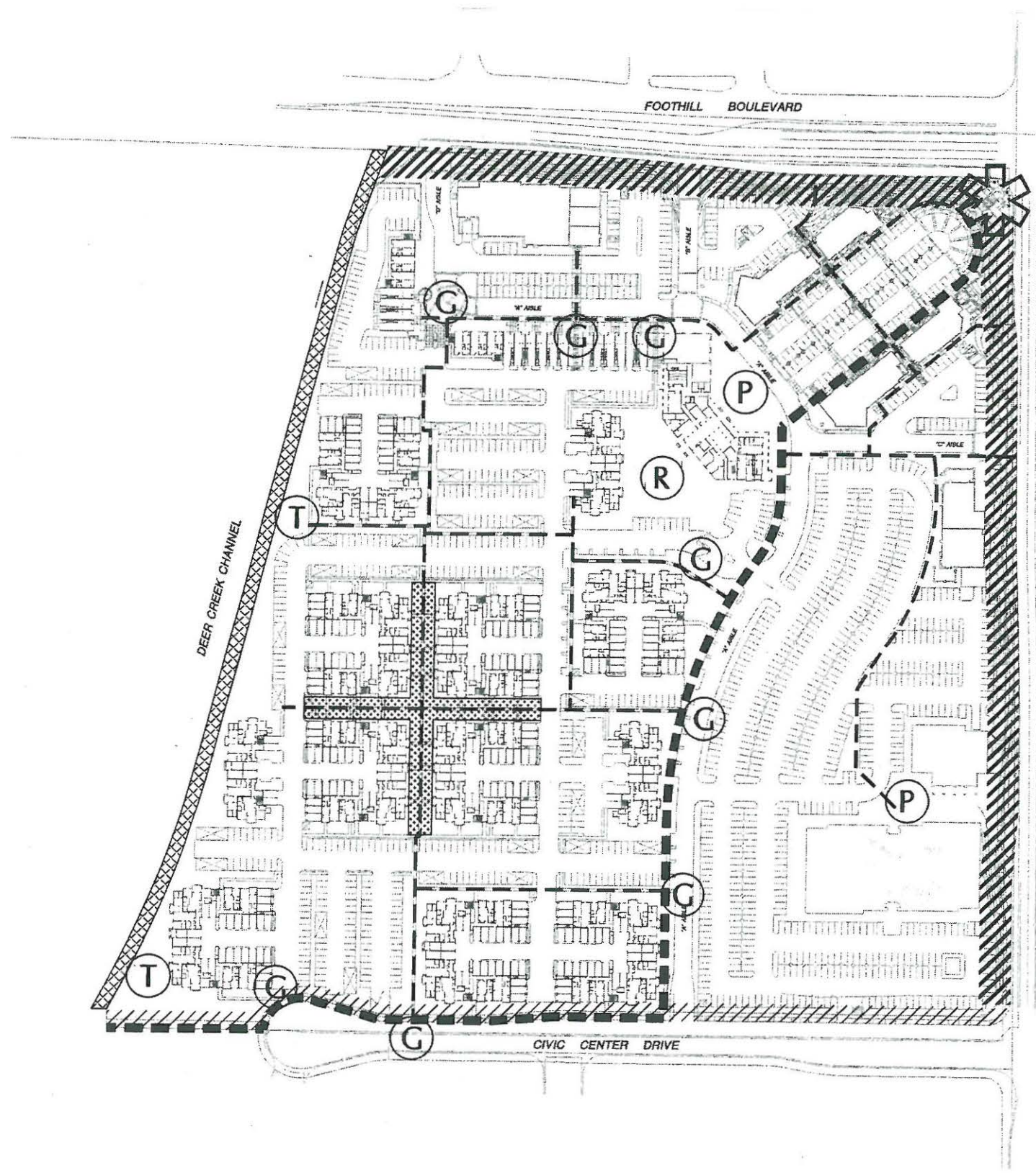
**2.3.1 De Ambrogio Heritage Plaza**

De Ambrogio Heritage Plaza is located in the center of the Master Plan project site (see Figure 10, *De Ambrogio Heritage Plaza Site Plan*). It is centrally located adjacent to the on-site residential and commercial uses. The 0.25-acre plaza is a private facility, but will be available for use by the general public. The plaza is designed to function as a traditional town square and, as such, incorporates a central fountain feature. Surrounding this fountain will be vine-covered trellis structures, teak benches for seating purposes, and stone columns/porticos planted with wisteria vines. The trellis structures will provide welcome shade during the hotter months.






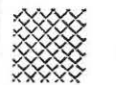




Historical winery-related artifacts will be displayed for public information to honor and memorialize the family history and heritage of the project site. The plaza will be paved with decorative pavers with concrete banding for accent. The plaza will provide recreational benefits to the on-site residents and outdoor eating areas for employees working at the various businesses on- and off-site. De Ambrogio Heritage Plaza will be privately owned, operated, and maintained.



# Rancho Cucamonga Town Square



LEGEND

-  GATEWAY PLAZA
-  PROMENADE
-  PUBLIC PLAZA
-  RECREATION CENTER/  
CLUBHOUSE (APARTMENTS)
-  TOT LOT
-  GATE (PEDESTRIANS ONLY)
-  DEER CREEK CHANNEL TRAIL
-  TERRA VISTA TRAIL
-  PEDESTRIAN TRAILS/WALKWAYS
-  ENHANCED LANDSCAPE PARKWAY  
(45' AVERAGE WIDTH)
-  LANDSCAPED PARKWAY  
(25' AVERAGE WIDTH)

SOURCE: T & B PLANNING CONSULTANTS

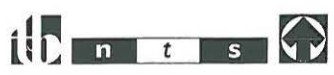


Figure No. 9  
**OPEN SPACE AND TRAILS PLAN**



# Rancho Cucamonga Town Square



SOURCE: BURNETT DEVELOPMENT



Figure 10  
DEAMBROGIO HERITAGE PLAZA SITE PLAN



**2.3.2 Public/Regional Trails**

B. Pedestrian Walkway

The RANCHO CUCAMONGA TOWN SQUARE project provides for pedestrian walkways with an average width of 45 feet along the property's frontage with Foothill Boulevard and Haven Avenue. These walkways are required by the City's Development Code per *Section 17.30.080* and will connect to existing pedestrian paths to the west and south of the project site.

C. Regional Multi-Purpose Trail System

The City of Rancho Cucamonga Trail Implementation Plan designates the eastern bank of Deer Creek, a concrete drainage channel located adjacent to the project's western property boundary, as a regional multi-purpose trail. That channel and associated trail is located off-site and the project would not require improvements to that trail. However, a community wall and landscaping would be provided along the project's western boundary to provide a landscaped buffer between the trail and the project's uses.

D. Terra Vista Trail

The Terra Vista Trail will extend from the Terra Vista Town Center at the northeast corner of Foothill Boulevard/Haven Avenue, cross Foothill Boulevard, then travel through the RANCHO CUCAMONGA TOWN SQUARE project and along a portion of Civic Center Drive, before tying into the regional multi-purpose trail that parallels the Deer Creek drainage channel. As it traverses the project site, the trail will commence at the gateway plaza at the Foothill Boulevard/Haven Avenue intersection, run through the motor court, then travel along the west side of "A" Aisle until it reaches Civic Center Drive. For a portion of its length, the trail will be adjacent to De Ambrogio Heritage Plaza. The trail will consist of a combination of the De Ambrogio Heritage Plaza, several smaller paved plazas, a paved motor court, and sidewalks.

**2.4 GRADING PLAN**

**2.4.1 Grading Concept**

In its existing condition, the project site slopes gently from north to south. The proposed grading concept will generally follow the existing contours and drainage patterns on site. Accordingly, no diversions of drainage patterns will occur.

Grading of the site will utilize conventional mass grading approaches and will result in a balanced earthwork of 67,690 cubic yards in cut and 67,690 cubic yards in fill. (See Figure 11, *Conceptual Grading Plan*)



# Rancho Cucamonga Town Square



SOURCE: HUNSAKER & ASSOCIATES

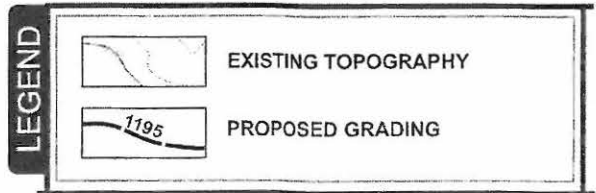


Figure 11  
**CONCEPTUAL GRADING PLAN**

2.4.2 Grading Standards

- A. All grading activities shall conform to the City of Rancho Cucamonga standards, shall be in substantial conformance with the overall *Conceptual Grading Plan* (see Figure 11), and shall implement any grading-related mitigation measures outlined in the environmental document for this project.
- B. Grading shall conform to the City of Rancho Cucamonga regulations first, then to the Conceptual Grading Plan.
- C. Prior to any development within the Master Plan, proposed grading shall be shown on the Tentative Tract Map for the project. The Grading Plan shall be used as a guideline for subsequent detailed grading plans for individual stages of development, and shall include: techniques employed to prevent erosion and sedimentation as well as eliminate source pollutants during and after the grading process; approximate time frames for grading; identification of areas which may be graded during high probability rain months (January through March); and preliminary pad and roadway elevations. Grading work shall be balanced on-site whenever possible.
- D. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on-site soil conditions and slope stability and will include appropriate measures to control erosion and dust.
- E. The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties.
- F. Graded land that is undeveloped shall be maintained and planted with interim landscaping within ninety (90) days of completion of grading, unless building permits are obtained.
- G. A grading permit shall be obtained from the City of Rancho Cucamonga prior to grading.
- H. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance.
- I. Pursuant to requirements of the State Water Resources Control Board, a State-wide general National Pollution Discharge Elimination System (NPDES) construction permit will apply to construction activities associated with the proposed project. Construction activities include cleaning, grading, or excavation that results in the disturbance of at least five acres of total land area or activity which is part of a larger common plan of development of five acres or greater. Therefore, the developer or builder for RANCHO CUCAMONGA TOWN SQUARE shall be required to obtain the appropriate State NPDES permits prior to commencing grading activities.

The NPDES permit shall require the developer to implement Best Management Practices (BMPs) such as hay bales and silt fences for the control of surface water during grading operations. Erosion control measures and efficient construction management should be employed at all times to minimize erosion and landform damage.

- J. During construction phases of development, dust control measures, such as adequate watering techniques, planting of vegetative cover on graded areas, and suspended grading operations in the event of high winds, shall be employed to mitigate the potential impact of construction-generated dust particulate.

**2.5 PUBLIC SERVICES AND CRITERIA**

**2.5.1 Public Facilities**

A. Water Service

Water service within the RANCHO CUCAMONGA TOWN SQUARE will be provided by the Cucamonga County Water District. The existing water lines on Haven Avenue and Civic Center Drive and will be extended into the site to provide service to the various uses. The mixed-use development will incorporate a looped backbone 8 inch water system network. The looped connections will tie to existing 8 inch facilities to the east on Haven Avenue and to the south on Civic Center Drive. Presently there are adequate water supplies to service the site.

New water lines will run from the Haven Avenue entrance on the western edge of the development, and from the Civic Center Drive entrance drive to the south onto "A" Aisle. The new water lines will then make a series of loops throughout the development. Please see Figure 12, *Master Water Plan* for a detailed map.

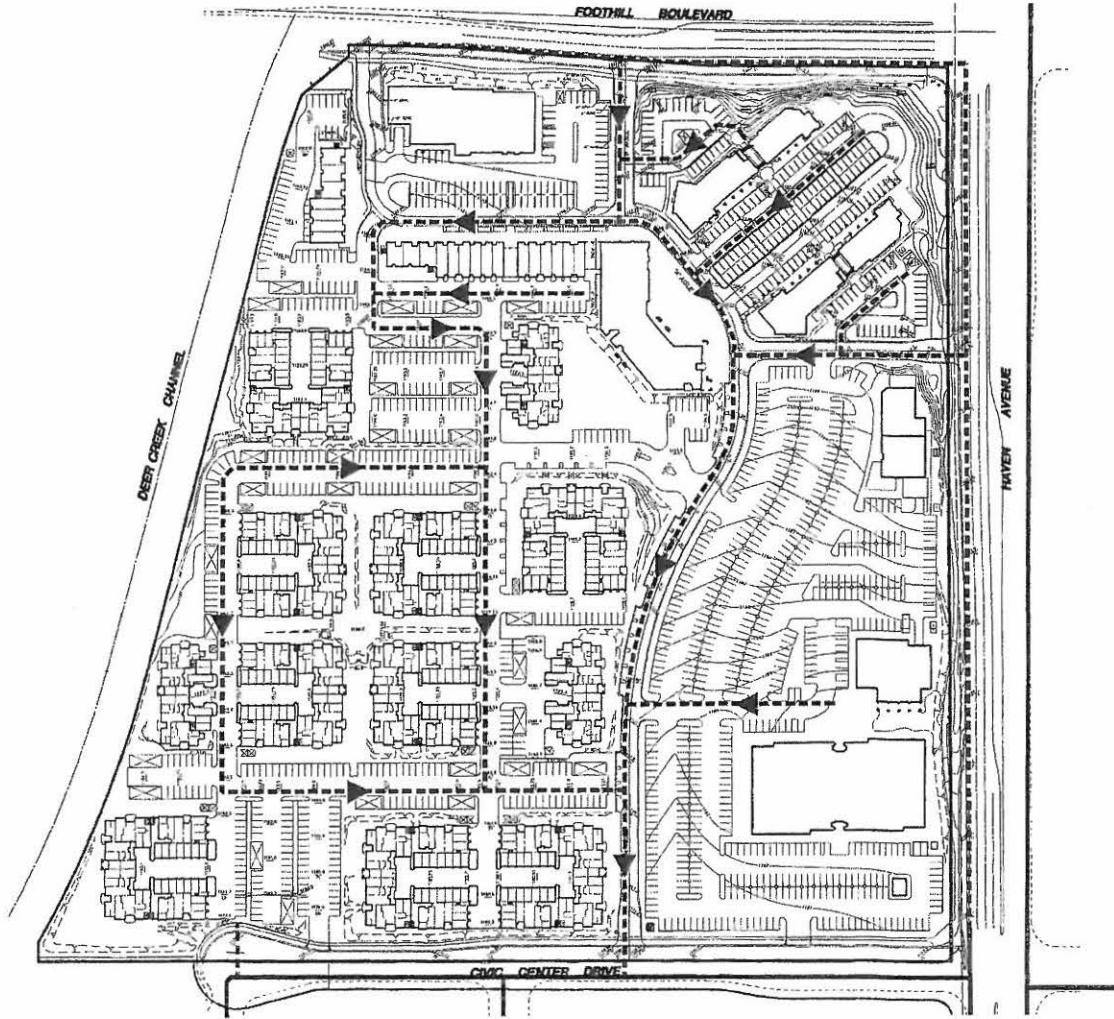
Due to the nature of the environment in southern California, water is a limited resource and the City encourages water conservation measures. Due to expanding urban areas, aquifers are not being recharged at a fast enough rate to keep up with demand and the water quality is also less than in the past. In light of this fact, the City uses a water purification to provide water resources to the growing population in Rancho Cucamonga.

B. Sewage Disposal

The Regional Sewage Contract (dated 1972) dictates that the Chino Basin Municipal Water District (CBMWD) shall treat and collect sewage flows from Rancho Cucamonga, including the project site. The CBMWD Treatment Plant Number 1, which will serve this development, is located in Ontario.

The Cucamonga County Water District (CCWD) is responsible for installing and operating the domestic wastewater collection system. Generally sewer lines are in place south of Highland Avenue and west of Milliken Avenue. The RANCHO CUCAMONGA TOWN SQUARE will fall within these boundaries. It is anticipated that the CCWD will be able to provide the necessary waste water services to the project site.

# Rancho Cucamonga Town Square



SOURCE: HUNSAKER & ASSOCIATES

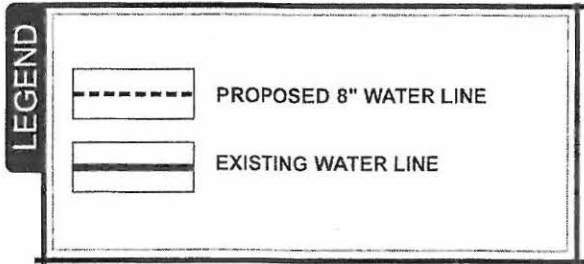


Figure 12  
**MASTER WATER PLAN**

The Master Sewer Plan proposes installation of two 8-inch sewer lines within the project site. One line will begin on the north side of the primary live/work building, then continue south along the bend onto "A" Aisle. The second sewer line will begin near the approximate center of the apartment complex, then run in a westerly direction toward the Deer Creek drainage channel, before turning southward. Both lines will connect with a main in Civic Center Drive, which in turn will connect to a sewer main in Haven Avenue. (See Figure 13, *Master Sewer Plan*)

C. Solid Waste Disposal

Privately-owned companies will collect and dispose of the solid waste that is created by the various uses on the site. Presently three companies perform this service: Burrtec Disposal, USA Waste Industries, and Yuokon Disposal. Solid waste is transported out of Rancho Cucamonga to a County-owned and operated disposal site on Milliken Avenue. This site is located south of the City. This site is a Class III facility operated by San Bernardino County Solid Waste Management District.

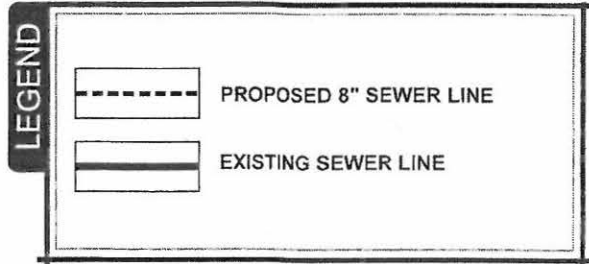
D. Storm Water Drainage

The mixed-use development will maintain a natural drainage pattern. Storm water will be conducted southward through various on-site storm drains and other water conduits. The on-site streets will be convex in the center to encourage water flow to the curb and then to the storm drains. A 48-inch storm drain within Civic Center Drive right-of-way will be extended into the site to service the new development. New storm lines will be installed along "A" Aisle. The system will begin along "A" Aisle, near the proposed retail uses. At this location, a 24-inch sewer drainage line will be installed where water from three catch basins will convey water southward. Seven more catch basins will drain the remainder of "A" Aisle and any runoff it receives from the surrounding development. The drain size will expand to 36 inches approximately half way down the street and connect with the 48 inch pipe at the intersection at Civic Center Drive. Drains will be located at regular intervals along this street to efficiently collect the runoff water. Ultimately the water will flow into the Deer Creek drainage channel. Please see Figure 14, *Master Drainage Plan*.

Storm drains will also be installed on the western-most road servicing the apartments. This 24-inch line will begin between the northwest apartments and convey water from two catch basins. The storm drain will extend south through the development where it will connect to a 36-inch pipe. The new system will connect with the existing 48-inch storm drain on Civic Center Drive. Catch basins will be located at regular intervals along this street to efficiently collect the runoff water. Ultimately the water will flow into the Deer Creek drainage channel.



# Rancho Cucamonga Town Square

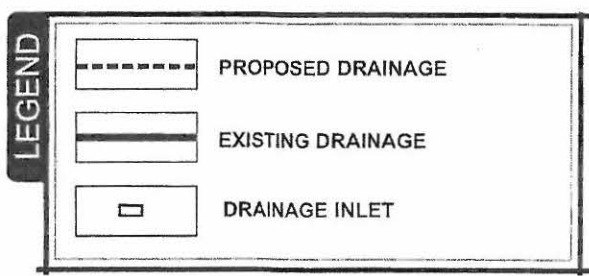
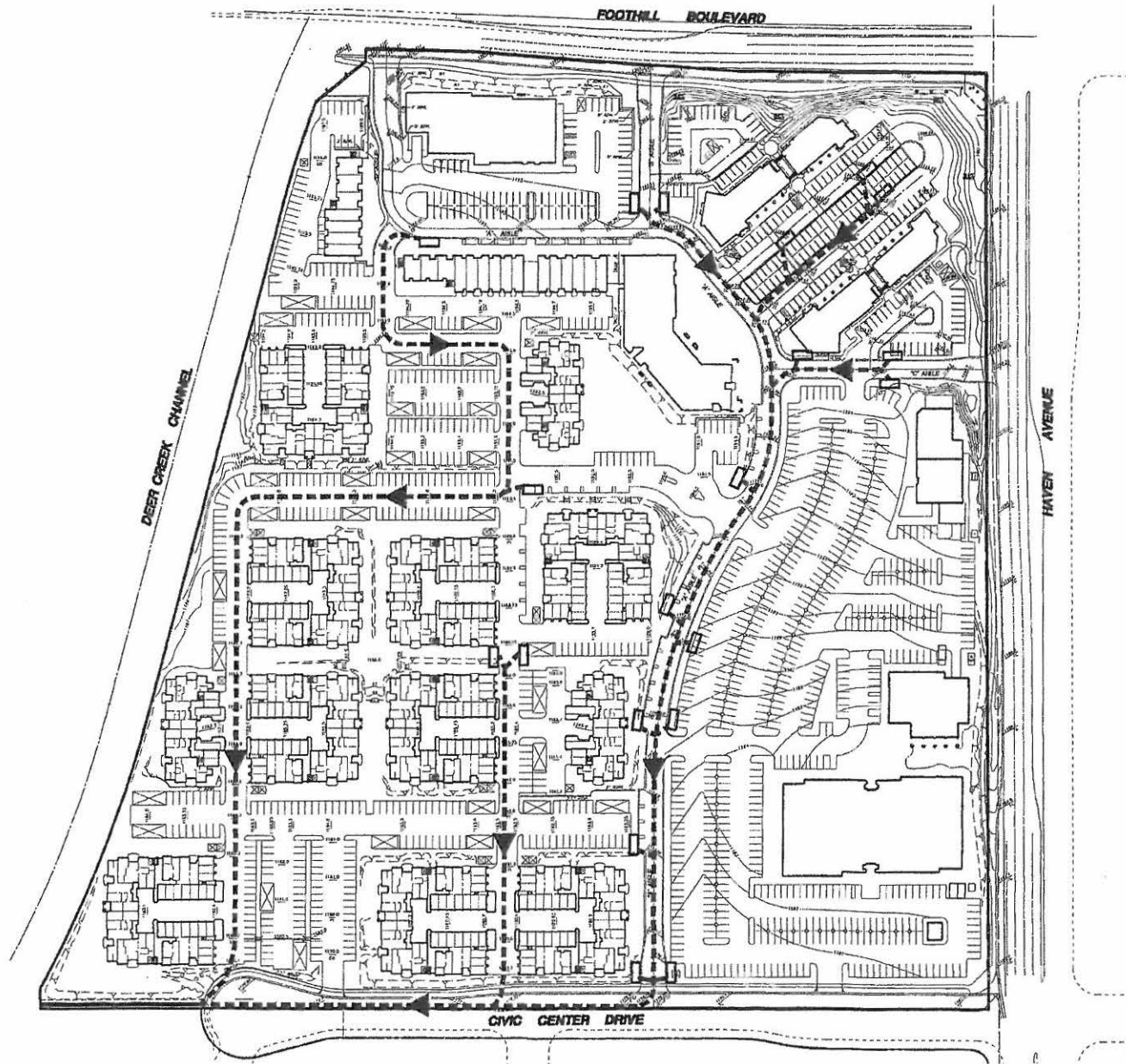


SOURCE: HUNSAKER & ASSOCIATES



Figure 13  
**MASTER SEWER PLAN**

# Rancho Cucamonga Town Square



SOURCE: HUNSAKER & ASSOCIATES



Figure 14  
**MASTER DRAINAGE PLAN**

E. Utilities/Energy

Existing infrastructure for electrical utilities is existing off-site and service would be provided by Southern California Edison Company. Existing infrastructure for natural gas is existing off-site and service would be provided by Natural Gas Southern California Gas.

2.5.2 Public Services

E. Fire Protection

The Foothill Fire Protection District is dedicated to reducing the loss of life/property due to fire. The District plans to expand the reach of its service and is ready to grow as the community continues to develop and increase its potential need for fire prevention and rescue services. The District is also prepared to work with the City, County, private business and residents to provide fire and emergency safety services to the site.

Presently there are four fire stations located in Rancho Cucamonga. Their approximate distances to the RANCHO CUCAMONGA TOWN SQUARE appear in parentheses after their location according to major cross streets. The stations are on or near the corners of Foothill Boulevard and Archibald Avenue (½ mile), Amethyst Street and 19<sup>th</sup> Street (2½ miles), and Rochester and Base Line (4½ miles). A fourth fire station was recently built at another location in the City. If the need arose for additional fire protection this site has been deemed suitable, however it is not a guarantee that the station would be built at that site. Please see Figure V-7 in the Rancho Cucamonga General Plan for a map depicting these locations.

To further ensure the safety of the patrons, visitors and workers of the TOWN SQUARE all structures will be built to satisfy the structural fire protection standards contained in the most recent edition of the Uniform Building Code and the Uniform Fire Code. There will be an adequate water supply to maintain necessary pressures and volumes to fire hydrants. Further, the development will meet the Foothill Fire Protection District's requirements for safe and ready access for fire and other emergency equipment. The road and street systems must be or have, two different emergency entrances and exits, roads with the cul-de-sacs should not be longer than 600 feet, they must allow for a turn-around area at least 90 feet in diameter and the street grades should be no greater than 12 percent. This is in an effort to accommodate emergency services should the need arise.

The buildings themselves shall have fire sprinklers systems installed. Fire sprinklers as well as smoke detectors shall be in all residences, commercial, and industrial buildings.

B. Police Protection

While crime is viewed as a social problem, the physical environment can serve to exacerbate or reduce the frequency of crime. The physical design and construction of a community can like wise reduce or ultimately increase the rate of crime. One of the goals of the RANCHO CUCAMONGA TOWN SQUARE design is to make the community safe and one in which the residents feel secure. Effective design strategies will help in reaching this goal. Included in the site will be open spaces, such as, parking lots and open green areas, paths and play areas that are easily

to residents who employ the “neighborhood watch strategy,” as well as people utilizing other facilities on site. The area surrounding the perimeter of the housing complex will be gated with two entrances and exits. The entry and exit points will require keys or access codes to gain entry.

The County of San Bernardino Sheriff’s Department is responsible for providing law enforcement services for the City of Rancho Cucamonga. The agreement is renegotiated every year per an agreement signed in 1978. The Department is headed by a Captain who serves as the Chief of Police. Under him Lieutenants serve in an administrative capacity and they are also Operations Commanders. Sergeants then command individual department sections. The Police Department is located at 10510 Civic Center Drive. This location is directly across Haven Avenue, approximately ¼-mile from RANCHO CUCAMONGA TOWN SQUARE.

**RANCHO CUCAMONGA TOWN SQUARE  
MIXED-USE DISTRICT DEVELOPMENT STANDARDS**

**3.1 PURPOSE AND INTENT**

On July 18, 2001, the City Council approved a Development District Amendment to change the existing zoning districts for the RANCHO CUCAMONGA TOWN SQUARE project site from "Industrial Park" and "Medium-High Residential" to "Mixed-Use." Concurrently with the Development District Amendment, the City Council also adopted a Development Code Amendment to the *Rancho Cucamonga Development Code* that established these development standards for the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT. It should be noted that these standards apply only to the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT and are not applicable elsewhere within the City of Rancho Cucamonga. The standards will insure that the project develops in a coordinated and comprehensive manner.

Unless specifically stated herein to the contrary, these development standards supersede otherwise applicable City ordinances and codes for the RANCHO CUCAMONGA TOWN SQUARE project. The standards provide for the arrangement, development and use of variety of uses, including residential, supporting commercial (retail, restaurants, specialty market), office, and park, while ensuring substantial conformance with the intent and provisions of the City's ordinances. Application of these standards is intended to encourage the most appropriate use of the land, create a harmonious relationship among the land uses, and protect the health, safety, and general welfare of the community.

**3.2 RELATIONSHIP TO CITY OF RANCHO CUCAMONGA DEVELOPMENT CODE**

**3.2.1 Rancho Cucamonga Town Square Mixed-Use District**

The following standards, known in their entirety as the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT DEVELOPMENT STANDARDS, are hereby incorporated by reference into the *Rancho Cucamonga Development Code* as Subarea 19. These standards set forth the permitted uses, building setbacks, and other requirements for development of property within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT. Where there is a conflict between the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DEVELOPMENT STANDARDS and the *Rancho Cucamonga Development Code*, the standards contained herein shall take precedence. Where this document is silent, the development standards of the *Rancho Cucamonga Development Code* shall apply.

**3.3 General Provisions**

- 3.3.1 In addition to the Development Standards and Criteria identified in this document, all development within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT shall comply with Section 17.30 of the *Rancho Cucamonga Development Code*.
- 3.3.2 Any development proposal not specifically covered by the provisions contained herein shall be subject to the provisions of the *Rancho Cucamonga Development Code*.



3.3.3 Where any issue, condition or situation arises or occurs that is not covered or provided for by these Development Standards, the provisions in the City's Development Code that are most similar or applicable to the issue, condition or situation, as determined by the City Planner, shall apply.

3.3.4 All construction shall comply with the applicable provisions of the City of Rancho Cucamonga and Uniform Building Codes.

### **3.4 DEFINITIONS**

Definitions for the individual words and group of words used in this section are provided in Section 17.02.140 of the *Rancho Cucamonga Development Code*.

### **3.5 MIXED-USE DEVELOPMENT REGULATIONS**

The RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT is intended to provide for a mixture of residential, commercial, professional office, and community uses in proximity to one another. Multi-family dwelling units, ranging from 24 to 30 units per gross acre, shall be permitted within the Mixed-Use District. A majority of the residential units shall be placed on the western half of the RANCHO CUCAMONGA TOWN SQUARE site.

The residential uses will provide a "built in" market for the retail and community uses within the district, while the retail and support commercial uses will provide immediate day-to-day convenience shopping and services for the district residents. Site development regulations and performance standards are intended to make such uses compatible to and harmonious with the character of surrounding residential or less intense land use area.

#### **3.5.1 Guiding Principles/Policies for Mixed-Use Development**

The Mixed-Use concept, that of providing for a combination of residential, commercial, and office activities within one unified development, is permitted within this project area based on the following policies/principles:

3.5.1.1 Mixed-Use development is not unlike the older downtowns where varying uses are intermixed for the convenience of business, retail, and residential activities.

3.5.1.2 In allowing for a wide range of activities within RANCHO CUCAMONGA TOWN SQUARE, the City will require the application of good land use planning principles towards evaluating a complementary arrangement of uses/activities of varying intensities.

3.5.1.3 The arrangement of varying uses must take into account, and avoid, conflicts that are inherent between different activities. Avoidance of nuisance towards those most negatively affected by more intense activities will be of prime consideration in the evaluation of any proposed development.

3.5.1.4 Limiting potential use conflicts can be attained through implementation of the following measures:

A. Separation of conflicting uses by distance.

- B. Separation of conflicting uses by special structural design features (e.g., barriers, STC measures, orientation, etc.).
- C. Operational limitations (e.g., limiting scope of activity, hours of operation via CUP procedures).

3.5.1.5 Effective avoidance of professional office and commercial nuisances to residents of RANCHO CUCAMONGA TOWN SQUARE is most critical to the successful development of this project. Some of the features that should be incorporated in the land use components are as follows:

- A. Non-residential vehicle and pedestrian traffic shall be discouraged within the residential portions of the RANCHO CUCAMONGA TOWN SQUARE project (*i.e.*, the apartment complex will be gated).
- B. In the Mixed-Use Building (*i.e.*, the 32 apartments over the retail and leasing/resident center), access to the residential units should be separate from access to the non-residential uses.
- C. In Live-Work Buildings *only*, retail and residential uses may co-exist together on the same floor and in the same unit.
- D. Retail uses are not permitted within any residential dwelling unit; provided, however that home occupation uses pursuant to the *City of Rancho Cucamonga Development Code* are permitted in all residential dwelling units. Live/Work Units are exempt from this standard and, as such, light commercial retail uses are permitted in Live/Work Units.
- E. No potentially nuisance-type uses (*i.e.*, uses that produce unusual noise, odors, or vibrations) shall be permitted below the residential loft apartments.
- F. Trash collection shall occur between the hours of 7:00 a.m. and 5:00 p.m. only.

### **3.6 Permitted and Conditional Uses – General Overview**

The permitted uses in this land use category shall emphasize a broad spectrum of uses in keeping with the Mixed-Use land use and zoning designations. In addition to multi-family uses (High Density at 24-30 du/ac), a wide variety of retail, support commercial, professional office, park, and community uses are permitted.

- 3.6.1 Retail and Support Commercial Uses. The permitted uses designated in Section 17.10.030 of the Development Code shall apply to all non-residential areas within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT. Permitted uses include: apparel stores; beauty shops; blueprint and photocopy services; book stores; delicatessens; drug stores/pharmacies; florist shops; food stores and specialty food markets; furniture stores; jewelry stores; medical, dental and related health services; music, dance and martial art studios; sit-down, take-out and fast food restaurants; travel agencies; etc. Restaurants with a cocktail lounge and bar and entertainment uses shall be conditionally permitted.
- 3.6.2 Professional Office Uses. The project includes one four-story office building. Additional office uses may be provided within the retail buildings.
- 3.6.3 Open Space and Recreation Uses: The project includes a large central heritage plaza and smaller plazas, courtyards, and landscaped and open space areas for use by project area

residents, residents of the City as a whole, and employees of the retail and office uses on-site. Permitted uses include public plazas, recreation centers, hiking and biking trails, and greenways.

- 3.6.4 Outdoor and Temporary Uses. Outdoor sales and commercial activities including, but not limited to, street performers and artists, arts and craft shows, vintage car shows, fruit and vegetable stands, and parking lot and sidewalk sales may be permitted to operate outdoors within the non-residential areas of the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT, subject to a Temporary Use Permit. Parking lot and sidewalk sales shall be subject to a Temporary Use Permit and the criteria listed in Section 17.10.030.G.2, *Parking Lot and Sidewalk Sales*, of the *Rancho Cucamonga Development Code*.
- 3.6.5 Animals. Keeping of animals accessory to residential use shall be limited and subject to the provisions set forth in Table 17.08.030-E Animal Regulations, Residential Districts in Section 17.08.030 of the Development Code.

### **3.7 Permitted and Conditional Uses – Detailed Listing**

The following table (Table 3-1, *Permitted Uses*) identifies permitted, conditionally permitted, interim, and prohibited uses within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT. Subject to approval by the City Planner, uses not specifically identified in Table 3-1 may be permitted. All Interim Uses and Conditional Uses shall be subject to the standards and criteria described in Sections 17.04.030 and 17.04.070 in the City's Development Code. No retail uses are permitted within the apartment complex (retail uses are permitted on the ground floor of the lofts building).

Requests for uses that are denied by the City Planner may be appealed to the Planning Commission for further consideration per Section 17.02.080 of the City's Development Code. Appeals of Planning Commission decisions may be appealed to the City Council per the same procedures. All determinations by the City Council shall be final.

In addition to the above requirements, all uses and operations within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT shall be conducted within an enclosed building unless specifically permitted in Table 3-1, with the exception that outdoor dining areas, display areas, and storage areas not specifically identified in Table 3-1 as a Permitted Use shall be permitted subject to issuance of a Conditional Use Permit by the City. Temporary outdoor displays shall require issuance of a Temporary Use Permit. All outdoor storage areas shall be adequately screened from public view pursuant to this Section.

<b>TABLE 3-1 LEGEND</b>	
P	- Permitted Use
C	- Conditionally Permitted Use (subject to Approval by City Planner)
T	- Temporary Use Permit
I	- Interim Use (Use Ceases at Project Build Out)

<b>TABLE 3-1 PERMITTED USES</b>	
USE TYPES	RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT
<b>RESIDENTIAL</b>	
Multiple Family Dwellings (Allowed in Freestanding Apartment Buildings and in Mixed-Use and Live/Work Buildings)	P
Residential Lofts (Allowed in Mixed-Use, Live/Work and Residential-Only Buildings)	P
Artist Studios, Live-In (Allowed in Mixed-Use and Live/Work Buildings Only)	P
<b>RESIDENTIAL ACCESSORY USES</b>	
Accessory Structure	C
Antenna	C
Caretaker's Residence	C
Home Occupation	P
Laundry Facilities (As an Accessory Use to the Apartments Only)	P
Lodging Unit	C
Other Accessory Uses	C
Private Garage	P
Private Swimming Pool	P
Residential Care Facility: Accessory - 6 or less	P
Non- Accessory - 7 or less	C
Uses in Historic Structures	C



<b>TEMPORARY USES</b>	
Parking Lot and Sidewalk Sales <sup>1</sup>	T
<sup>1</sup> Parking lot and sidewalk sales may be permitted on private property in connection with current on-site businesses, subject to approval of a Temporary Use Permit as provided in Section 17.04.070 of the City's Development Code and the following criteria: <ul style="list-style-type: none"> <li>a. Each sale is limited to a maximum of three consecutive days;</li> <li>b. No sale of any single business or any other businesses located on the same lot or parcel, or within a shopping center, shall be permitted within 30 days of another sale;</li> <li>c. Maximum of three sales shall be permitted for each business during each calendar year; however, one additional sale may be permitted for any business, provided that at least 50 percent of the businesses occupying the Rancho Cucamonga Town Square project particulate concurrently in such a sale;</li> <li>d. The applicant for such sale must obtain the written authorization of the property owner and must provide proof of notification at least 30 days prior to proposed sale to all other businesses on the same lot or parcel, or within the same shopping center, that a parking lot or sidewalk sale will be conducted, the times it will be conducted, and that no other sale within 30 days of such sale will be permitted.</li> <li>e. The items to be sold shall be of the same type that are regularly displayed and sold at the business location;</li> <li>f. The activity shall not present a hazard to pedestrian or encroach on a required building exit;</li> <li>g. Safe vehicular ingress and egress shall be provided at all times;</li> <li>h. Adequate parking shall be provided and maintained during the course of the activity for both the business of the applicant and all other businesses on the same lot or parcel or within the same shopping center.</li> </ul>	
Temporary Uses as prescribed in Section 17.04.070 and subject to those provisions	P
Temporary trailers for use in conjunction with religious and agricultural uses for a specified interim period	C
<b>COMMERCIAL (Applies to all Non-Residential Buildings and to the Ground Floor Retail Space in the Mixed-Use Building; Does NOT apply to Live/Work Units)</b>	
Agricultural/Nursery Supplies & Services (uses of 5,000 square feet or less)	C**
Animal Care	C**
Antique Shops	P**
Art, Music and Photographic Studios and Supply Stores	P**
Athletic & Health Clubs, Gyms and Weight Reducing Clinics	C**
Arcades	C**
Blueprinting, Stationary, Quick Copy, etc. (in Commercial Buildings containing no residential uses)	P**
Building Maintenance Services	C**
Building & Light Equipment Supplies & Sales	C**
Business Supply Retail & Services	P**
Business Support Services	P**
Clothing Stores and Boutiques	P**

<b>COMMERCIAL (Applies to all Non-Residential Buildings and to the Ground Floor Retail Space in the Mixed-Use Building; Does NOT apply to Live/Work Units)</b>	
Communication Services	P**
Convenience Sales & Services	P**
Entertainment	C**
Extensive Impact Commercial	C**
Food & Beverage Sales	P**
Food Stores, Grocery Stores and Supermarkets (in Commercial Buildings containing no residential uses)	P**
Bakeries, Donut Shops and Bagel Shops (retail only)	P**
Delicatessens	P**
Fast Food Sales (Without Drive-Thru)	P**
Fast Food Sales (With Drive-Thru)	C**
Restaurants (Other Than Fast Food):	
a.      With Entertainment and/or Cocktail Lounge and Bar.	C**
b.      Incidental Serving of Beer and Wine, but Without a Cocktail Lounge, Bar, Entertainment or Dancing	P**
Beauty Supply Store	P**
Hair Stylists, Barbers, Beauticians	P**
Financial, Insurance & Real Estate Services	P**
Florists	P**
Hotel/Motel	C**
Indoor Wholesale/Retail Commercial	P**
Jewelry Stores	P**
Laundry Services, including Self-Serve Laundries and Laundromats	P**
Medical/Health Care Services B Emergency Outpatient Care	C***
Mail Store or Outlet (Private)	P**
Music, Video and DVD Sales and Rental	P**
Newsstands	P**

<b>COMMERCIAL (Applies to all Non-Residential Buildings and to the Ground Floor Retail Space in the Mixed-Use Building; Does NOT apply to Live/Work Units)</b>	
Personal Services	P
Pet Shops	P**
Petroleum Products Storage	C**
Pharmacy and Drug Stores	P**
Sporting Goods Stores	P**
Tailor	P
<b>OFFICE PROFESSIONAL, MEDICAL, DESIGN &amp; RESEARCH (Applies to all Non-Residential Buildings and to the Ground Floor Retail Space in the Mixed-Use Building; Does NOT apply to Live/Work Units)</b>	
Administrative & Office	P
Professional/Design Services	P
Medical, Dental and Related Health Services (Non-animal Related), Including Laboratories and Clinics; Only the Sale of Articles Clearly Incidental to the Services Provided Shall be Permitted	P**
Research Services	P**
<b>COMMERCIAL, DESIGN, OFFICE &amp; PROFESSIONAL USES (Applies to Live/Work Units Only*)</b>	
<p>Low intensity commercial, support commercial, design, office and professional uses are permitted, subject to approval by the City Planner. Examples of uses that may be permitted include, but are not limited to, the following:</p> <ul style="list-style-type: none"> <li>▪ Accounting firms;</li> <li>▪ Artists studios and craft workshops (e.g., pottery, ceramic, glass, photography, etc.);</li> <li>▪ Brokerage firms;</li> <li>▪ Professional offices and related uses (e.g., lawyers, architects, interior designers, engineers, etc.);</li> <li>▪ Real estate offices and brokers;</li> <li>▪ Therapist and counselor offices; and</li> <li>▪ Service Commercial uses (e.g., travel agencies, etc.).</li> </ul> <p>No nuisance-type uses or potentially nuisance-type uses shall be permitted in Live/Work. Nuisance-type uses are uses that produce unusual noise, odors, or vibrations. No outside storage shall be permitted in Live/Work Units.</p>	C
*Note: Applies to Live/Work Units Only. Does not apply to the 29 traditional apartment units that are located over the live/work units, but within the same buildings as the live/work units.	

<b>AGRICULTURAL USES</b>	
Row Crops, Truck Gardens (De Ambrogio Heritage Park only)	P
Row Crops, Truck Gardens (all areas except De Ambrogio Heritage Park)	I
Plant Storage or Propagation	C
Orchards, Vineyards, Christmas & Other Tree Farms	I
Community Gardens	P
Greenhouses	C
Hydroponic Culture	C
On-Site Sales of Products Grown On Site	I
<b>RECREATIONAL USES</b>	
Parks and Pocket Parks	P
Picnic Areas and Barbecue Pits	P
Playgrounds and Tot Lots	P
Plazas and Courtyards	P
Hiking, Biking, Equestrian Trails	P
Greenways	P
Golf Courses	C
Country Club and Related Uses	C
Outdoor Recreation Facility (Non-Commercial)	C
<b>CIVIC</b>	
Administrative Civic Services	P**
College and University (Branch)	C**
Convalescent Center	C**
Convention Centers	C**
Cultural	C**
Day Care Facility	C**
Flood Control Structures and Facilities	P**
Flood Control/Utility Corridor	P**



<b>CIVIC (continued)</b>	
Fire & Police Station	C
Library (Branch)	C
Post Office Branch (United States)	P
Post Office (United States), as an Accessory Use to Other Retail Uses	P
Preservation and Use of Historic Landmarks and Related Uses such as Museums, Art Galleries, and Food Services to Accommodate On-site Uses	C
Public Assembly	By Temporary Use Permit
Public Safety & Utility Services	C
Religious Assembly	C
Schools	C

**3.8 Development Standards**

Section 17.10.040 in the Development Code provides the minimum Site Development Criteria for the non-residential portion of the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT.

3.8.1 **Project-Wide Standards.** All non-residential uses within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT, except as otherwise noted, shall be subject to the conditions and standards set forth below. Where this document remains silent, the standards and provisions of the Rancho Cucamonga Development Code shall apply.

- A. **Signs.** See Section 17.30.040.A.2 in the Rancho Cucamonga Development Code.
- B. **Uniform Sign Program:** A coordinated Uniform Sign Program shall be required for any development, including wall and monument signs, to encourage design compatibility.
- C. **Lighting.** See Section 17.30.040.A.4 of the Rancho Cucamonga Development Code.
- D. **Equipment Screening.** The purpose of Equipment Screening Standards shall be to allow for the use of equipment while preserving the architectural character and integrity of the surrounding environment. Equipment is deemed to include exterior mechanical or electrical equipment, such as air conditioning units, fans, ductwork, cyclone blowers, cranes, and storage tanks. The following standards shall apply to all uses within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT:

1. All roof-, wall-, and ground-mounted equipment shall be screened.
  2. All screening shall be architecturally integrated with the building design. Roof-mounted mechanical equipment and/or ductwork projecting vertically above the roof or roof parapet shall be screened.
  3. Permanent architectural screening, such as roof parapet walls, shall be used to screen roof- and wall-mounted equipment from ground level views, particularly when looking south toward the Rancho Cucamonga Town Square project from the north side of Foothill Boulevard, and when looking west toward the project from the east side of Haven Avenue.
- E. Storage Area/Screening: See Section 17.30.040.A.6 of the Rancho Cucamonga Development Code.
- F. Security Fences and Walls. See Section 17.30.040.A.7 in the Rancho Cucamonga Development Code.
- G. Utilities. See Section 17.30.040.A.8 in the Rancho Cucamonga Development Code.
- H. Maintenance. See Section 17.30.040.A.9 of the Rancho Cucamonga Development Code.
- I. Setback Requirements For All Uses. The purpose of Setback Requirements is to provide open space for building separation, landscape treatment, and to encourage architectural and site planning design diversity. The following standards shall apply to the entire RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT:
1. Definition: Streetscape setbacks include the minimum building setback, minimum parking setback, and the average depth of landscaping along public and private street frontages. All streetscape setbacks are measured from the ultimate face-of-curb.
  2. Streetscene Setbacks:
    - (a) *Foothill Boulevard Setback*: Forty-five (45) foot building setback. Thirty (30) foot parking setback, provided that street frontage walls and fences over three feet in height are subject to a forty-five (45) foot setback. Landscaping setback shall be 45-foot average, but not less than 30 feet.
    - (b) *Haven Avenue Setback*: Forty-five (45) foot building setback. Thirty (30) foot minimum parking and landscape setback.

- (c) **Civic Center Drive Setback:** Twenty (20) foot building setback. Fifteen (15) foot parking and landscape setback, provided that street frontage walls and fences over three feet in height are subject to a twelve (12) foot minimum setback from face-of-curb.
- (d) **Aisles A, B, and C Setback:** Ten (10) foot building setback from edge of curb required. No parking setback required.

- J. **Landscape Requirements.** The provisions contained in Section 17.30.040.E of the Rancho Cucamonga Development Code shall apply to all development within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT, except as modified in this document.
- K. **Interim Use Standards.** The provisions contained in Section 17.30.040.G of the Rancho Cucamonga Development Code shall apply to all development within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT.

3.8.2 **Residential Development Standards:** The Residential Development Standards for the apartment complex are set forth in Table 3-2, *Residential Development Standards (Apartments)*, below, and elsewhere within this document. Where this document remains silent, the High Residential District standards set forth in Chapter 17.08 of the Rancho Cucamonga Development Code shall apply, with the exception that Table 17.08.030, *Use Regulations for Residential Districts*, shall not apply. In all cases, where the Rancho Cucamonga Town Square Development Standards conflict with the City's Development Code, the standards contained in this document shall take precedence.

<b>TABLE 3-2 RESIDENTIAL DEVELOPMENT STANDARDS (APARTMENTS)</b>	
<b>Development Standard</b>	<b>Applicability</b>
<b>Lot Area:</b> Minimum Parcel Size	17.81 acres net
Note: Condominium lots are exempt from required parcel size and dimension requirements.	
<b>Minimum Dwelling Unit Size:</b>	
Multiple Family Dwellings Efficiency/Studio	540 square feet
One Bedroom	660 square feet
Two or More Bedroom	1068 square feet
<b>Lot Dimensions:</b> Minimum Width (At Required Front Setback)	N/R

<b>TABLE 3-2 RESIDENTIAL DEVELOPMENT STANDARDS (APARTMENTS)</b>	
Minimum Corner Lot Width	N/R
Minimum Depth	N/R
Minimum Frontage (At Front Property Line)	N/R
Minimum Flag Lot Frontage (At Front Property Line)	Not Applicable
<b>Building Separation and Setback Standards <sup>(A)</sup>:</b>	
<b>Building to Building <sup>(B)</sup></b>	
<b>Front to front <sup>(C)</sup></b>	
No Patio or Recessed Patio	30 feet <sup>(C)</sup>
<b>Between Patio Fence/Wall Less than 5 Feet in Height <sup>(F)</sup></b>	
Without Sidewalk <sup>(F)</sup>	10 feet <sup>(C)</sup>
With Sidewalk <sup>(F)</sup>	15 feet <sup>(C)</sup>
Between Patio Fence/Wall More Than 5 Feet in Height	20 feet <sup>(C)</sup>
Between Balconies Above Patio Fence/Wall More than 5 Feet in Height	20 feet <sup>(C)</sup>
Between a patio fence/wall and a building wall	20 feet <sup>(C)</sup>
With common patio fence/wall	30 feet <sup>(C)</sup>
Other	15 feet <sup>(C)</sup>
Building to one-story detached garage/carport or other accessory structures <sup>(E)</sup> :	15 feet <sup>(C)</sup>
Building to Curb <sup>(E)</sup>	15 feet <sup>(C), (D)</sup>
Building to Curb at Project Entry (Patio Wall or Fence shall not Project into the Setback Area)	25 feet <sup>(C)</sup>
<b>Off-Street Parking</b>	Each dwelling unit shall be provided with a minimum one-car enclosed garage. The garage shall be located conveniently accessible to the dwelling unit it serves.
<b>Height Limitation</b>	45 feet
<b>Lot Coverage (Maximum %)</b>	50%
<b>Open Space Required</b>	150 feet ground floor; 100 feet upper story unit
Private Outdoor Open Space	
Common Open Space (Minimum Percent)	30%
Usable Open Space (Private and	35%



TABLE 3-2 RESIDENTIAL DEVELOPMENT STANDARDS (APARTMENTS)	
Common)	
Recreation Area/Facility	See Table 3-4 in this document.
Landscaping	Required per Section 17.08.040

Table 3-2 Notes (see previous page):

N/R = Not Required

- (A) Building shall mean dwelling units.
- (B) Building separation standards for building-to-building shall be for two-story development only.
- (C) Add 10 feet for each floor/story above the second floor/story for three- or more-story buildings.
- (D) Add 5 feet for each floor/story above the second floor/story up to a maximum of 25 feet for three- or more-story buildings.
- (E) Patio wall/fence and pedestrian walkway may project into setback area provided a minimum 10-foot area be maintained free and clear for landscaping.
- (F) Between balconies, add 5 feet.
- (G) "Front" is defined as that face of the building or unit with the major glass area and/or major private recreation area and may include access to that private recreation area. This access may or may not relate to the primary entrance to the building that faces the street or drive; therefore, some buildings may have more than one "front."

3.8.3 Development Standards for the Mixed-Use and Live/Work Buildings. Development Standards for the mixed-use and live/work buildings are provided in Table 3-3, below. Where Table 3-3 and this document remain silent, the standards shall be the same as set forth for the High Residential District in Chapter 17.08 of the Rancho Cucamonga Development Code. In all cases, where the Rancho Cucamonga Town Square Development Standards conflict with the City's Development Code, the standards contained in this document shall take precedence.

TABLE 3-3 DEVELOPMENT STANDARDS FOR THE MIXED-USE APARTMENTS AND LIVE/WORK BUILDINGS	
Development Standard	Applicability
Lot Area:	
Minimum Net Average	N/R
Minimum Net	N/R
Minimum Dwelling Unit and Live/Work Unit Sizes:	
Multiple Family Dwellings and Live/Work Units	540 square feet

<b>TABLE 3-3 DEVELOPMENT STANDARDS FOR THE MIXED-USE APARTMENTS AND LIVE/WORK BUILDINGS</b>	
Efficiency/Studio	
One Bedroom	660 square feet
Two or More Bedroom	1068 square feet
<b>Lot Dimensions:</b>	
Minimum Width (At Required Front Setback)	N/R
Minimum Corner Lot Width	N/R
Minimum Depth	N/R
Minimum Frontage (At Front Property Line)	N/R
Minimum Flag Lot Frontage (At Front Property Line)	Not Applicable
<b>Setbacks:</b>	
Front Yard	N/R
Street Side Yard	N/R
Interior Side Yard	N/R
Rear Yard	N/R
At Interior Site Boundary (Dwelling Unit / Accessory Building)	15 feet / 5 feet
<b>Off-Street Parking</b>	Each dwelling unit shall be provided with a minimum one-car enclosed garage. The garage shall be located conveniently accessible to the dwelling unit it serves.
<b>Building Separations</b>	Adjacent buildings shall be separated by at least 20 feet as measured from building facade to building facade (roof overhangs are exempted)
<b>Height Limitation</b>	55 feet, provided that tower elements and other similar decorative elements may extend up to a height of 60 feet
<b>Lot Coverage (Maximum %)</b>	N/R
<b>Open Space Required</b> Private Outdoor Open Space	N/R

<b>TABLE 3-3 DEVELOPMENT STANDARDS FOR THE MIXED-USE APARTMENTS AND LIVE/WORK BUILDINGS</b>	
Common Open Space (Minimum Percent)	25%
Usable Open Space (Private and Common)	25%
<b>Recreation Area/Facility</b>	Recreation area/facilities shall be shared jointly with those provided in the adjacent 334-unit apartment complex. See Table 3-4, below.
<b>Landscaping</b>	Minimum landscape coverage of five percent required. See Sections 17.30.040.E.4 through 17.30.040.E.9 for additional landscape requirements.
<b>Amenities</b>	Recreation area/facilities shall be shared jointly with those provided in the adjacent 388-unit apartment complex. See Table 3-4, below.

Notes:  
(A) N/R = Not Required

- 3.8.4 Required Residential Recreational Amenities. The recreational amenities identified in Table 3-4, *Residential Recreational Amenities*, shall be required and made available to and shared by residents of the apartment complex, the mixed-use building (loft apartments), and the live/work units.

<b>TABLE 3-4 RESIDENTIAL RECREATION AMENITIES</b>	
<b>Recreational Amenity</b>	<b>Quantity</b>
Pool and Spa (together in same area)	1
Wading Pool	1
Community Multi-Purpose Room	1
Enclosed Tot Lots with Multiple Play Equipment	2
Walking/Jogging Trail with Exercise Stations	1
Large Open Lawn Areas (100 foot min. dimension)	4
Central Plaza/"Town Square" (DeAmbrogio Heritage Plaza)	1

<b>TABLE 3-4 RESIDENTIAL RECREATION AMENITIES</b>	
BBQ Facilities	12
Outdoor Fireplace	1
<b>Total:</b>	<b>24</b>

3.8.5 Standards for Non-Residential Uses and Areas (Excludes the Apartment Complex, the Mixed-Use Building, and the Live/Work Buildings). The following standards shall apply to all non-residential uses and areas within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT, except for the mixed-use building and the live/work buildings.

<b>TABLE 3-5 NON-RESIDENTIAL DEVELOPMENT STANDARDS</b>	
<b>Development Standard</b>	<b>Applicability</b>
<b>Minimum Parcel Size<sup>(A)</sup>:</b> Minimum Parcel Size	8,000 square feet
Minimum Parcel Width	100 feet, provided that 300 feet is the minimum parcel width on parcels abutting Foothill Boulevard or Haven Avenue.
All lots of record are allowed to develop according to the development standards set forth for the Rancho Cucamonga Town Square Mixed-Use District.	
<b>Building Setbacks:</b>	
Front	As required for <i>Streetscene Setbacks</i> in Section 4.4.1.I.2 in this document.
Rear	None required.
Interior Side	Five (5) foot minimum. Minimum side yard setback may be waived or modified by the City Planner
Street Side	As required for <i>Streetscene Setbacks</i> , in Section 4.4.1.I.2, above.
<b>Parking Setbacks</b>	The average parking lot setback shall be as required in <i>Streetscene Setbacks</i> , in Section 4.4.1.I.2, above.
<b>Building Height</b>	The provisions contained in Section 17.30.040.D.5 of the Rancho Cucamonga Development Code shall apply, except as otherwise amended in these Development Standards, and further provided that the maximum height of the office building shall not exceed eighty (80) feet.
<b>Projections</b>	The provisions contained in Section 17.30.040.D.6 of the Rancho Cucamonga Development Code shall apply to all development within the RANCHO



<b>TABLE 3-5 NON-RESIDENTIAL DEVELOPMENT STANDARDS</b>	
	CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT, except as otherwise amended in these Development Standards.
<b>Indoor Wholesale/Retail Commercial Criteria</b>	The provisions contained in Section 17.30.040.I of the Rancho Cucamonga Development Code shall apply to all wholesale/retail development within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT; provided, however, that the City Planner may elect to waive the requirements for Site Management Plan and Traffic Impact Study at his or her discretion.

Note: (A). Condominium lots are exempt from required minimum parcel size and dimension requirements.

**3.9 OFF-STREET PARKING REGULATIONS**

The basic parking regulations discussed in Section 17.12 of the *Rancho Cucamonga Development Code* shall apply to all development within RANCHO CUCAMONGA TOWN SQUARE, with addition of the following provisions:

**3.9.1 General Provisions**

These requirements are established to provide for the on-site and off-street parking for the employees, residents, and patrons of the various on-site uses. The parking facilities required by this section are the minimum required by the various land use categories. These requirements will result in the installation of properly designed parking facilities of sufficient capacity to reduce traffic congestion, provide safe and convenient facilities for motorists and pedestrians and generally provide for the parking of motor vehicles at locations other than on streets.

**3.9.2 Shared Parking (Permitted for Non-Residential Uses Only)**

Pursuant to the provisions set forth in Section 17.12.040.E of the City’s Development Code, shared parking may be allowed for non-residential uses (i.e., office, retail, and commercial uses) within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT at the discretion of the City Planner. Shared parking is not permitted for required residential uses.

**3.9.3 Special Event Parking**

Off-street parking facilities and driveways may be used for special events (e.g., vintage car shows, watercraft shows, farmer’s markets, street festivals, etc.), if authorized through an approved Temporary Use Permit.

**3.9.4 Special Residential Parking Standards**

Each and every dwelling unit, including the 32 mixed use apartments, 16 live/work units, 18 one bedroom flats and the 348 apartment units, shall be provided with a minimum one-car enclosed garage reserved for

the private use of that residence. The garage shall be located conveniently accessible to the dwelling unit it serves. All other required parking, including guest parking, need not be covered, and may be provided in open parking areas. No reduction in the number of required residential parking spaces and residential guest parking spaces from that required by City Code and these development standards is permitted.

**3.9.5 Residential Visitor Parking**

For projects with private streets or driveways, visitor parking required by Section 17.12.040 of the City's Development Code shall be provided in off-street visitor parking bays within 150 of the dwelling units expected to be served by the visitor parking. Visitor parking shall be clearly delineated through proper signage to the satisfaction of the City Planner. Signage may include, but is not limited to: pavement marking, freestanding signs designating the stalls as visitor parking, and directory signs guiding visitors to the visitor parking area.

<b>TABLE 3-5 NON-RESIDENTIAL DEVELOPMENT STANDARDS</b>	
	within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT, except as otherwise amended in these Development Standards.
<b>Indoor Wholesale/Retail Commercial Criteria</b>	The provisions contained in Section 17.30.040.I of the Rancho Cucamonga Development Code shall apply to all wholesale/retail development within the RANCHO CUCAMONGA TOWN SQUARE MIXED-USE DISTRICT; provided, however, that the City Planner may elect to waive the requirements for Site Management Plan and Traffic Impact Study at his or her discretion.

Note: (A). Condominium lots are exempt from required minimum parcel size and dimension requirements.

**3.9 OFF-STREET PARKING REGULATIONS**

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**3.9.1 General Provisions**

These requirements are established to provide for the on-site and off-street parking for the employees, residents, and patrons of the various on-site uses. The parking facilities required by this section are the minimum required by the various land use categories. These requirements will result in the installation of properly designed parking facilities of sufficient capacity to reduce traffic congestion, provide safe and convenient facilities for motorists and pedestrians and generally provide for the parking of motor vehicles at locations other than on streets.

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the private use of that residence. The garage shall be located conveniently accessible to the dwelling unit it serves. All other required parking, including guest parking, need not be covered, and may be provided in open parking areas. No reduction in the number of required residential parking spaces and residential guest parking spaces from that required by City Code and these development standards is permitted.

**3.9.5 Residential Visitor Parking**

For projects with private streets or driveways, visitor parking required by Section 17.12.040 of the City's Development Code shall be provided in off-street visitor parking bays within 150 of the dwelling units expected to be served by the visitor parking. Visitor parking shall be clearly delineated through proper signage to the satisfaction of the City Planner. Signage may include, but is not limited to: pavement marking, freestanding signs designating the stalls as visitor parking, and directory signs guiding visitors to the visitor parking area.



## **4.0 URBAN DESIGN GUIDELINES**

The RANCHO CUCAMONGA TOWN SQUARE project is unique and significant for three reasons: (1) the project's cultural program, (2) the site's prominent location at the City of Rancho Cucamonga's "Town Center," and (3) the richness of the mixed-use program. The following design guidelines have been developed to respond to the site's historical past and surrounding land use context, while ensuring that the City's "vision" for the site as identified in the General Plan, Development Code, and other policy documents is met.

These design guidelines establish a flexible framework of guidelines and standards intended to help guide development of the project site as it transitions from its historical use as a vineyard to a new, state-of-the-art, mixed-use project. The guidelines will help implement the City's vision of an urban activity core that is compatible with the surrounding land uses and reflects the character and history of Rancho Cucamonga.

All this will be accomplished while the site retains its own unique identity. These guidelines are intended to work in concert with the development standards contained in Chapter 6.0 of this document and with Section 17.30, *Industrial Districts*, of the *Rancho Cucamonga Development Code*.

### **4.1 SITE PLANNING DESIGN GUIDELINES**

Within the City, this site is the single remaining corner of the "Town Center." This Master Plan supports the City's planning concept and expands upon that concept to include a cultural amenity. The site has exceptional vehicular access and available public transportation. Taking into account the unique project location, the surrounding uses and the developing "Town Center," the mixed-use program is a compatible development. The Master Plan includes 414 residential units, a commercial office, restaurants, and a retail specialty market. The following site planning design guidelines are designed to ensure that the project develops as a true "mixed-use" development and shall apply to the entire RANCHO CUCAMONGA TOWN SQUARE project site.

#### **4.1.1 Site Organization**

The project is organized around a series of open spaces, which are interlinked and connect to the off-site pedestrian network. The sequencing of public spaces and the pedestrian flow across the site has been developed to integrate with the adjacent properties.

Starting at the Foothill Boulevard/Haven Avenue intersection, the project is designed to welcome visitors with a central public plaza focused on a water feature. This area serves as the visual and pedestrian entry to the project. The vehicular entries to the project are located along Foothill Boulevard and Civic Center Drive.

Continuing through the project from the entry plaza, the next area encountered is the retail courtyard. The single-story buildings are oriented around a central court, which is designed to support a variety of events. Primarily, this area serves as a motor court, but on weekends and holidays and for special events, the space is designed so that it can easily be cordoned off for art shows, festivals, or other civic events. The entire motor court will be paved with decorative paving to make this area more pleasant for pedestrians. A large central plaza is located at the geographic center of the project site for convenient access from all project uses. The plaza, known as De Ambrogio Heritage Plaza, incorporates some of historic vineyard

## ***Rancho Cucamonga Town Square* 4.0 Urban Design Guidelines**

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artifacts associated with the site's historic use as a vineyard and winery. The focal point of the plaza is a circular fountain.

The remaining commercial uses (a specialty market, and retail uses) are oriented to Foothill Boulevard as described in the City's specific plan. The residential and mixed-use product has been sited away from the major streets for sound and privacy reasons. Two restaurant buildings and a four-story office building face Haven Avenue.

### **4.1.2 Parking Considerations**

The project program has been developed to minimize parking areas by providing staggered demand from various uses. For example, the office parking demand is highest during the day and reduces in the evening as the retail and restaurant demand increases. An additional benefit, is the reduction of local traffic when complimentary uses are co-located.

The Master Plan and architecture is site specific and regionally vernacular, continuing the tradition of shaded outdoor spaces and wind protection.

### **4.1.3 Site Planning for the Apartments**

The apartment complex will be situated furthest away from Foothill Boulevard and Haven Avenue to provide a sufficient buffer from traffic noise. The residential dwellings within the project will be organized around internal motor courts to minimize the number of exposed garages on the exterior elevations, and to provide the maximum number of direct access garages.

### **4.1.4 Site Planning for the Live/Work Buildings**

RANCHO CUCAMONGA TOWN SQUARE incorporates several housing types, including the innovative live/work units. These units will be arranged in buildings in such a manner as to form a transition zone between the freestanding apartment buildings and the retail uses on-site. The live/work units will be divided into two buildings: one primarily building that will face the market building, and one smaller secondary building. These buildings will contain 16 live/work units and 18 one bedroom flats. The live/work buildings are sited so as to be visible from the retail areas of the site, as well as from Haven Avenue and Foothill Boulevard and Haven Avenue. The buildings are located along a pedestrian paseo that extends from Deer Creek Channel to the De Ambrogio Heritage Plaza. The buildings are set back from Foothill Boulevard and Haven Avenue for noise reasons, while still providing adequate visibility for the live/work store fronts.

### **4.1.5 Site Planning for the Commercial and Mixed-Use Development**

Most of the retail uses on-site will focus around a paved motor court, although some uses, including the specialty market, will orient towards Foothill Boulevard for maximum visibility. Most of the retail buildings on-site will be built as single-story buildings oriented around the motor court. This motor court is angled for prime visibility from the Foothill Boulevard/Haven Avenue intersection. At the terminus of the motor court, there will be a three-story building that serves as the visual focal point of the retail area. A large courtyard will be located in front of this building, which will contain a mix of residential and retail uses. The first floor of this building (i.e., the "mixed-use building") will consist of a 12,574 square foot leasing/resident center and 2,769 square feet of retail space. The second and third floors will contain

32 apartments units. This building will be set back from Foothill Boulevard and Haven Avenue for noise reasons.

**4.1.6 Site Planning for the Office and Restaurant Development**

The office building will be located to serve as a “counterpoint” to the Rancho Cucamonga City Hall, which is located directly across Haven Avenue from the project site. The office building will be located just south of both restaurants sites. This will allow office users to easily walk to the restaurants for lunch. A small lake-type water feature will separate the office building from the specialty restaurant located at the Haven Avenue/Civic Center Drive intersection. This water feature will be visible from Haven Drive and will serve as a signature element for the office and specialty restaurant. Both restaurants sites have been specifically located for maximum visibility from Haven Avenue.

## 4.2 LANDSCAPE ARCHITECTURE DESIGN GUIDELINES

### 4.2.1 Landscape Areas

The *Conceptual Landscape Plan*, Figure 15, for RANCHO CUCAMONGA TOWN SQUARE will ensure landscape continuity throughout the project. The project's landscape elements may be identified and discussed by distinct areas as listed below:

- The project perimeter streetscape.
- The primary and secondary project entries.
- The retail area/paved motor court area and nearby restaurant areas.
- The "De Ambrogio Heritage Plaza."
- The residential/apartment neighborhood.

### 4.2.2 Project Perimeter Streetscapes

Bounded on the north by Foothill Boulevard, the east by Haven Avenue and the south by Civic Drive, RANCHO CUCAMONGA TOWN SQUARE will be surrounded by an expansive linear parkway featuring meandering walkways, rolling-contoured turf areas, masses of colorful shrubs and ground covers as well as loosely-defined groves of evergreen and deciduous trees. The streetscape tree species will closely adhere to City standards and guidelines to reinforce and continue the master-planned community theme. The parkways will provide safe and pleasant pedestrian access, will screen parking areas, will frame and enhance architectural elements and will create a strong identity for RANCHO CUCAMONGA TOWN SQUARE.

The corner of Foothill Boulevard and Haven Avenue will receive special design focus to anchor this area of the project. The regional trail system will flow through this corner to provide continuous pedestrian traffic opportunities. Enhanced paving, benches, and arbor with stone columns and wisteria vines and a central fountain will be complemented by groves of date palms as well as flowering and shade trees. This corner development will become an integral part of the "central plaza" to be described later. (See Figure 16, *Foothill Boulevard/Haven Avenue Intersection Treatment*, Figure 17, *Haven Avenue/Civic Center Drive Intersection Treatment*, Figure 18, *Typical Internal Intersection Treatment*, Figure 19, *Foothill Boulevard Landscape Parkway Cross Section*, Figure 20, *Haven Avenue Landscape Parkway Cross Section*, and Figure 21, *Civic Center Drive Landscape Parkway Cross Section*).

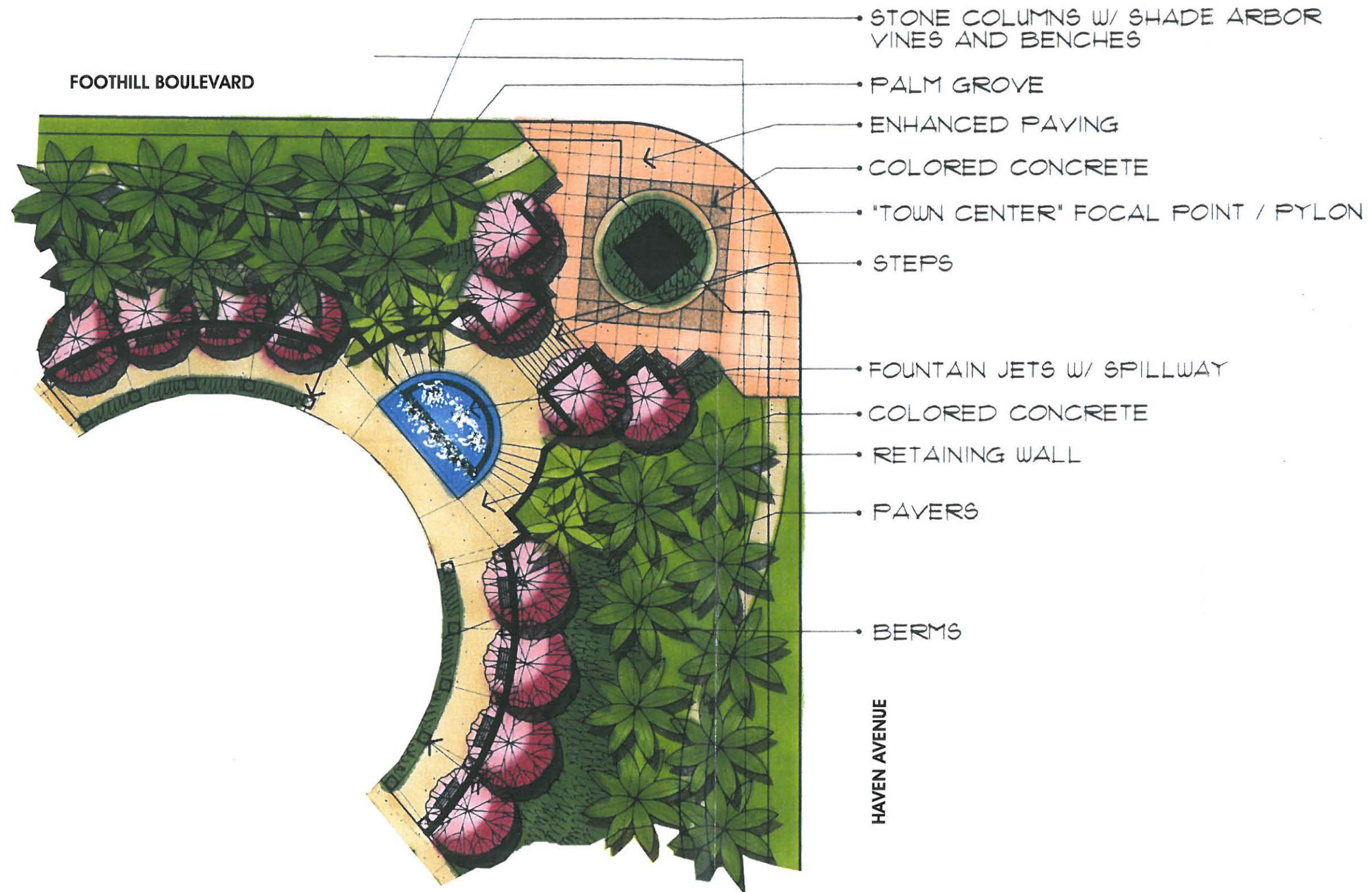
In addition, the City is planning to implement a program over the next few years that will visually improve Foothill Boulevard. The proposed program identifies the Foothill Boulevard/Haven Avenue intersection as an activity center. This means that one of the many icons associated with Old Route 66, such as the Corvette, the Cadillac Ranch, and service station logos, may be placed at this intersection in the future.







# Rancho Cucamonga Town Square

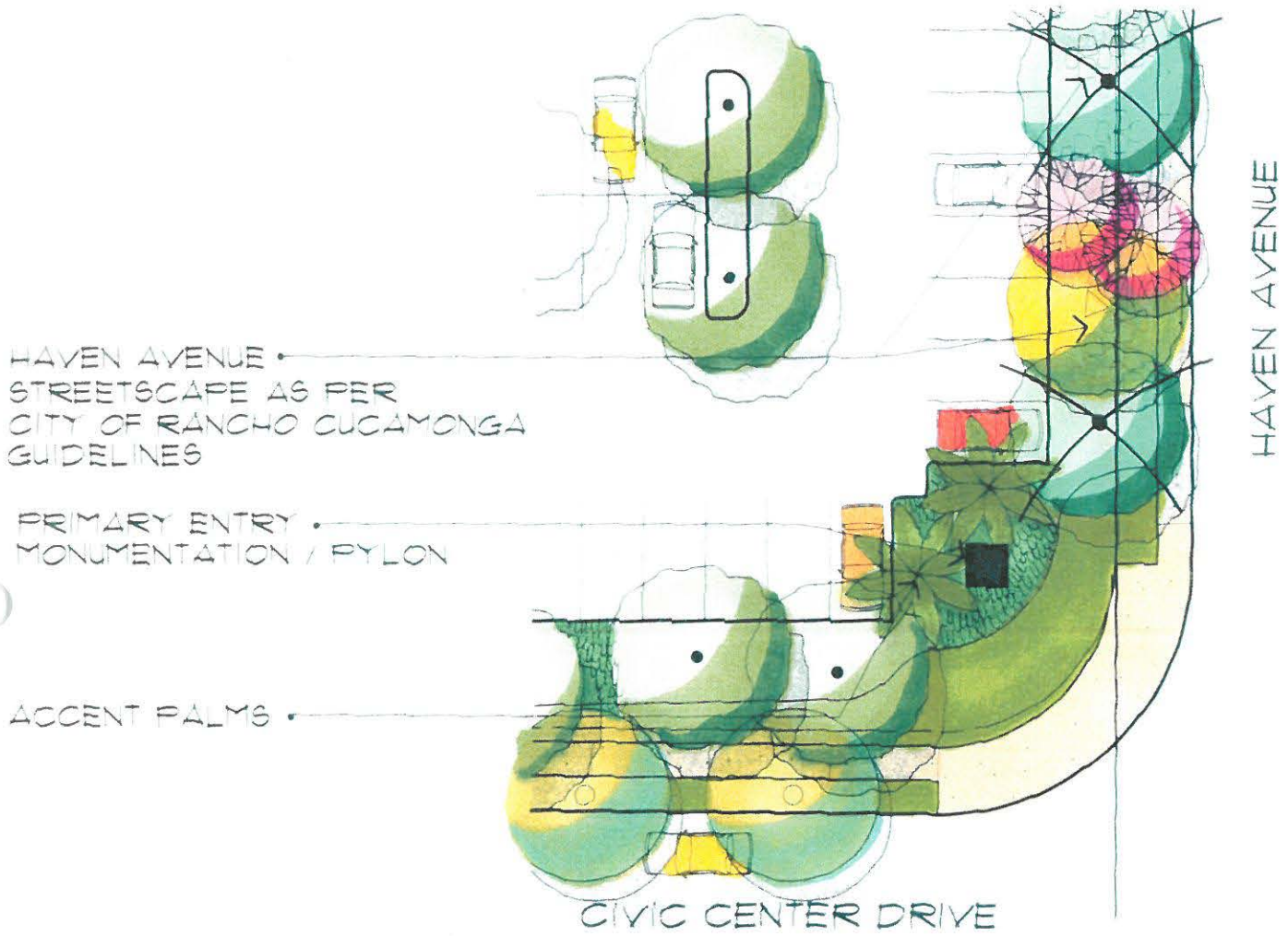


SOURCE: FRANK RADMACHER ASSOCIATES, INC.



Figure 16  
**FOOTHILL BLVD./HAVEN AVENUE  
 INTERSECTION TREATMENT**

# Rancho Cucamonga Town Square

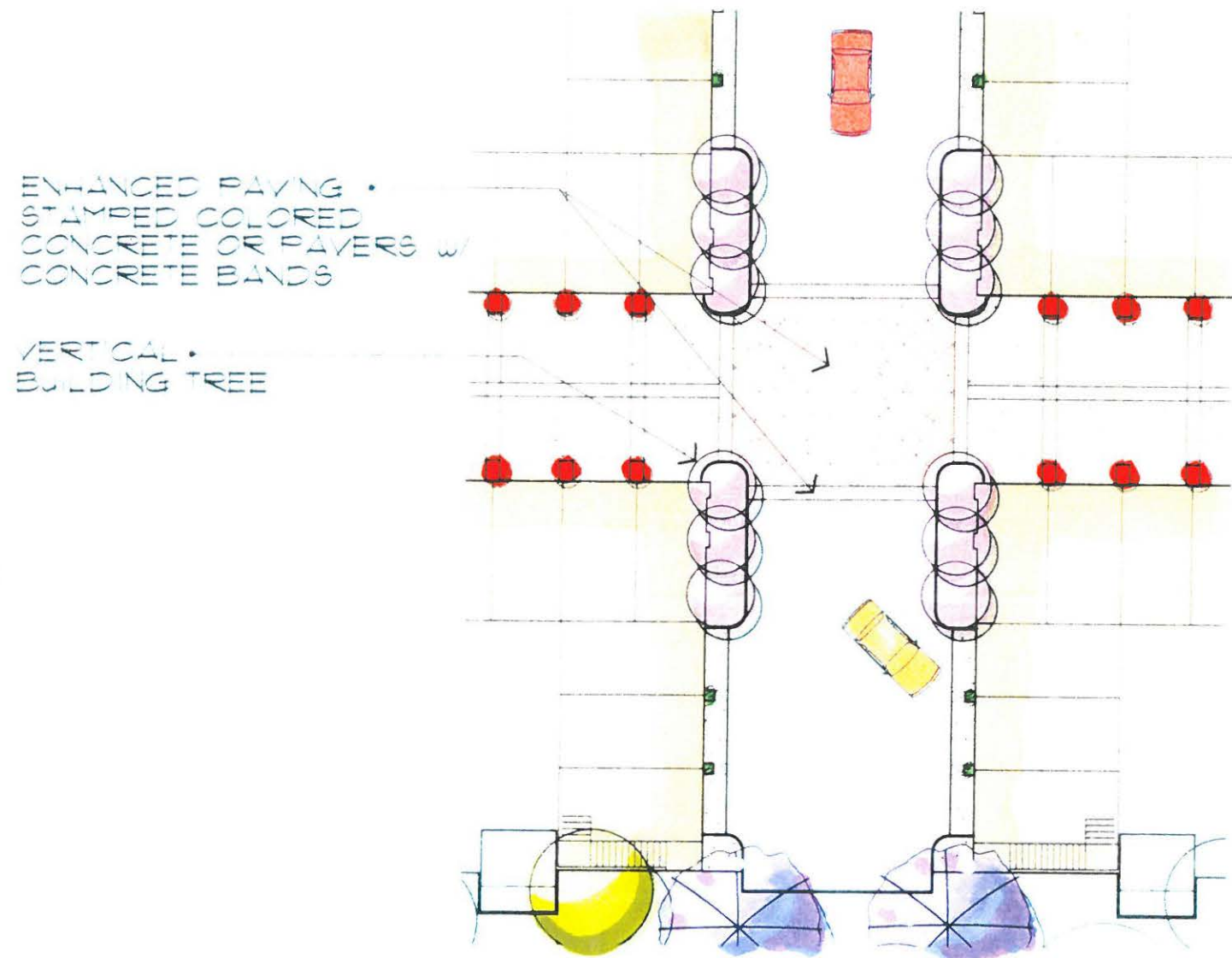


SOURCE: FRANK RADMACHER ASSOCIATES, INC.

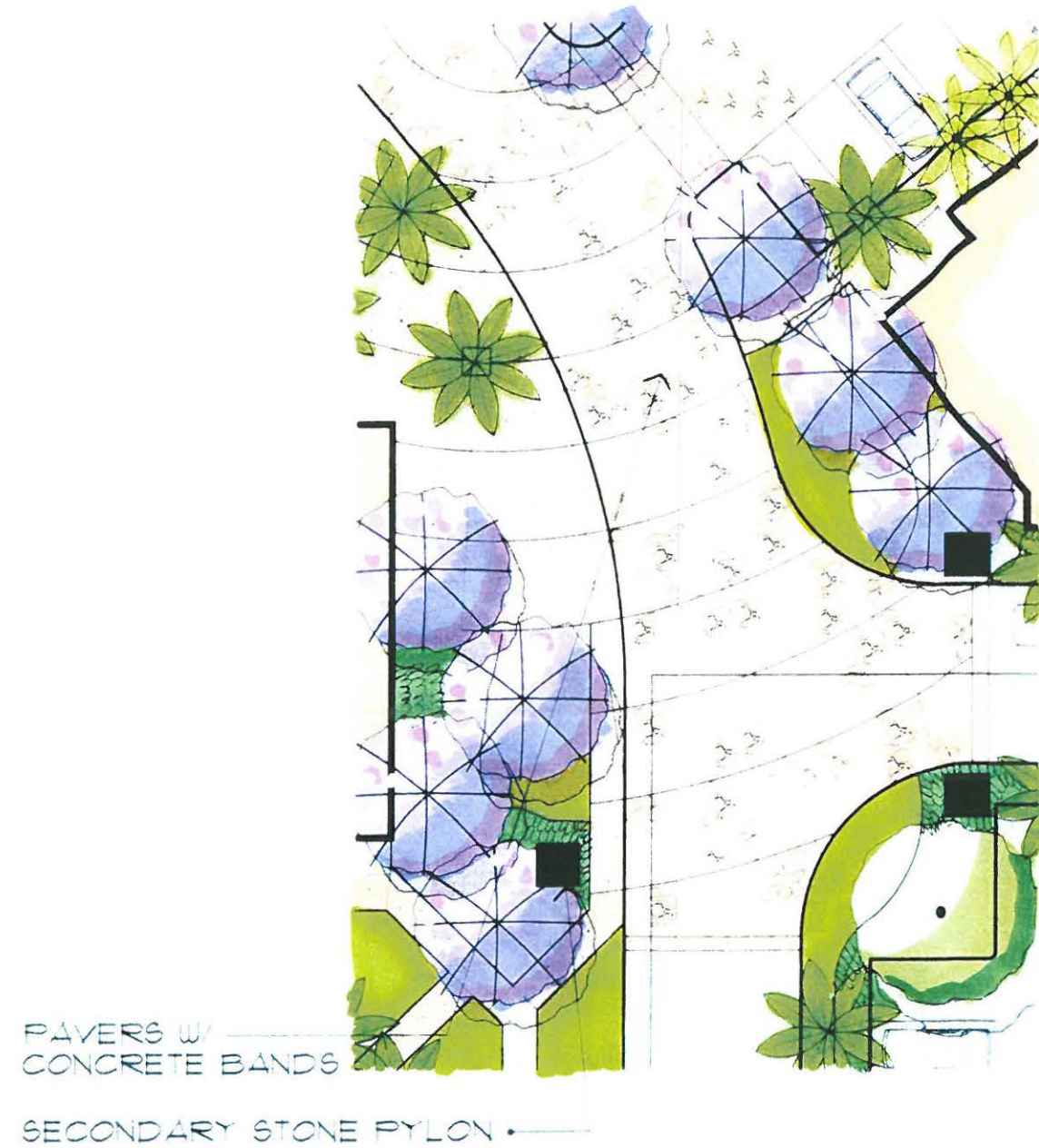
Figure 17  
**HAVEN AVENUE/CIVIC CENTER DRIVE  
INTERSECTION TREATMENT**







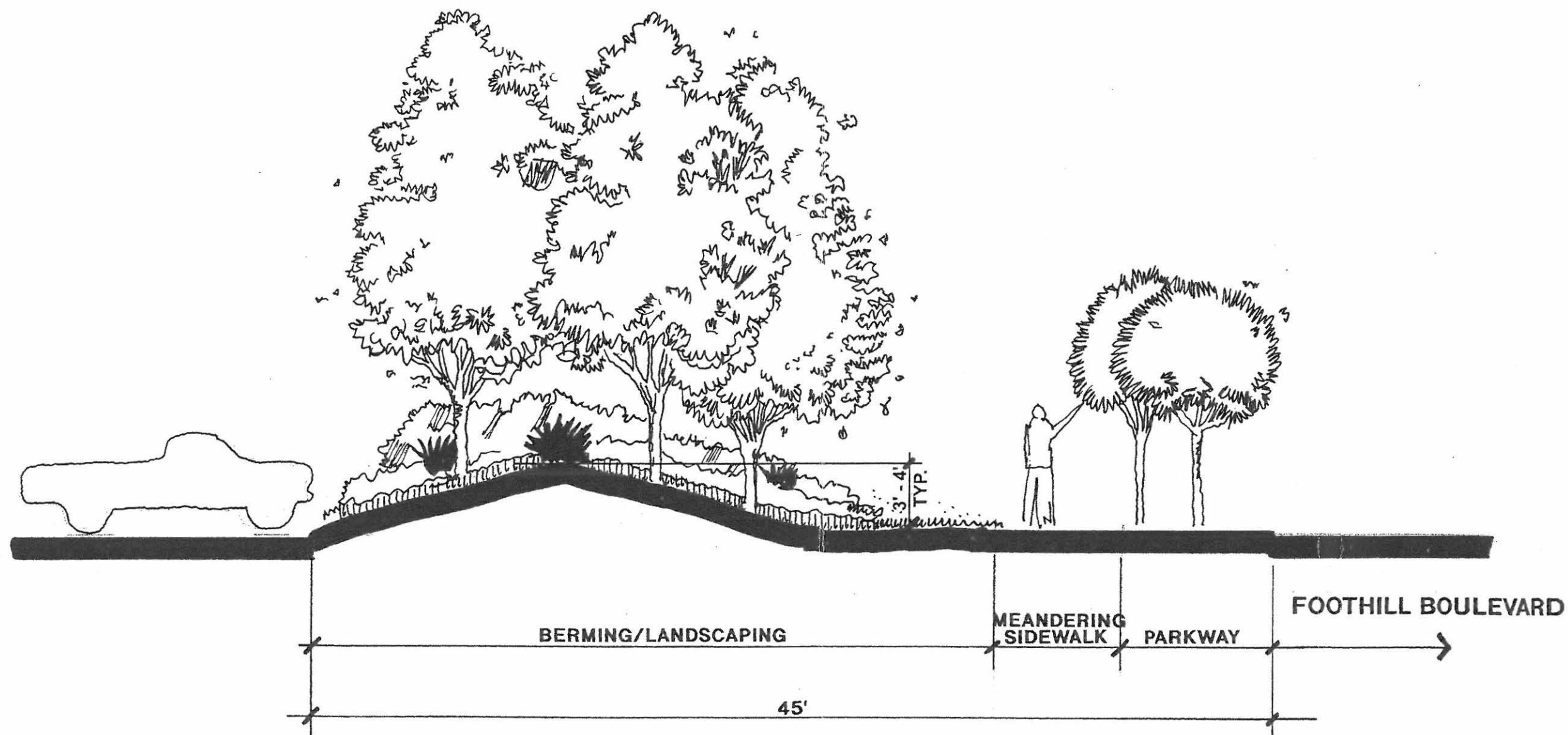
APARTMENT SITE



PLAZA SITE



# Rancho Cucamonga Town Square



SOURCE: FRANK RADMACHER ASSOCIATES, INC.

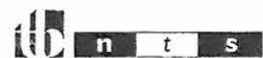
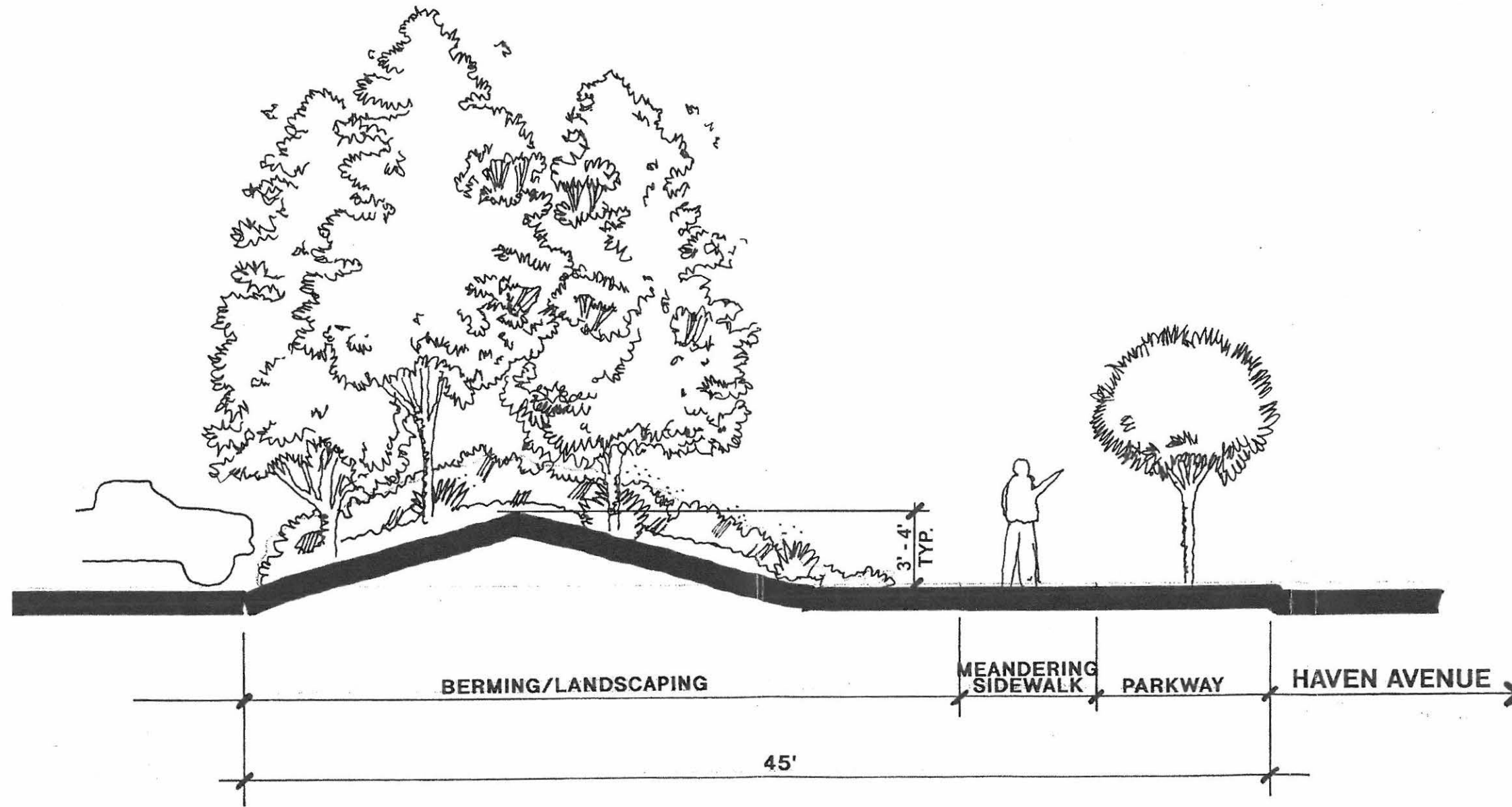


Figure 19  
**FOOTHILL BOULEVARD LANDSCAPE  
PARKWAY CROSS SECTION**



SOURCE: FRANK RADMACHER ASSOCIATES, INC.

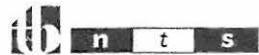


Figure 20  
HAVEN AVENUE LANDSCAPE  
PARKWAY CROSS SECTION

# Rancho Cucamonga Town Square



SOURCE: FRANK RADMACHER ASSOCIATES, INC.

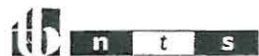


Figure 21  
**CIVIC CENTER DRIVE LANDSCAPE  
PARKWAY CROSS SECTION**



The mixed-use development will be consistent with the future program in that it will provide several improvements to the southern edge of the Foothill Boulevard right-of-way that abuts the project's northern property boundary. The improvements include a palette consistent with the surrounding landscape themes, enhanced paving patterns, and grape arbors.

### **4.2.3 Project Entries**

Primary and secondary project entries will be located on Foothill Boulevard, Haven Avenue and Civic Center Drive. These entry points will reflect the winery theme so strongly associated with the City's heritage and will feature large, stone pylons complete with tile roofs. The entries will be further highlighted by enhanced street paving, specimen accent palms and flowering trees, night-lighting and layered masses of colorful shrubs and ground covers. (See Figure 22, *Typical Primary Entry Treatment* and Figure 23, *Typical Secondary Entry Treatment*)

### **4.2.4 Commercial/Retail/Restaurant Areas**

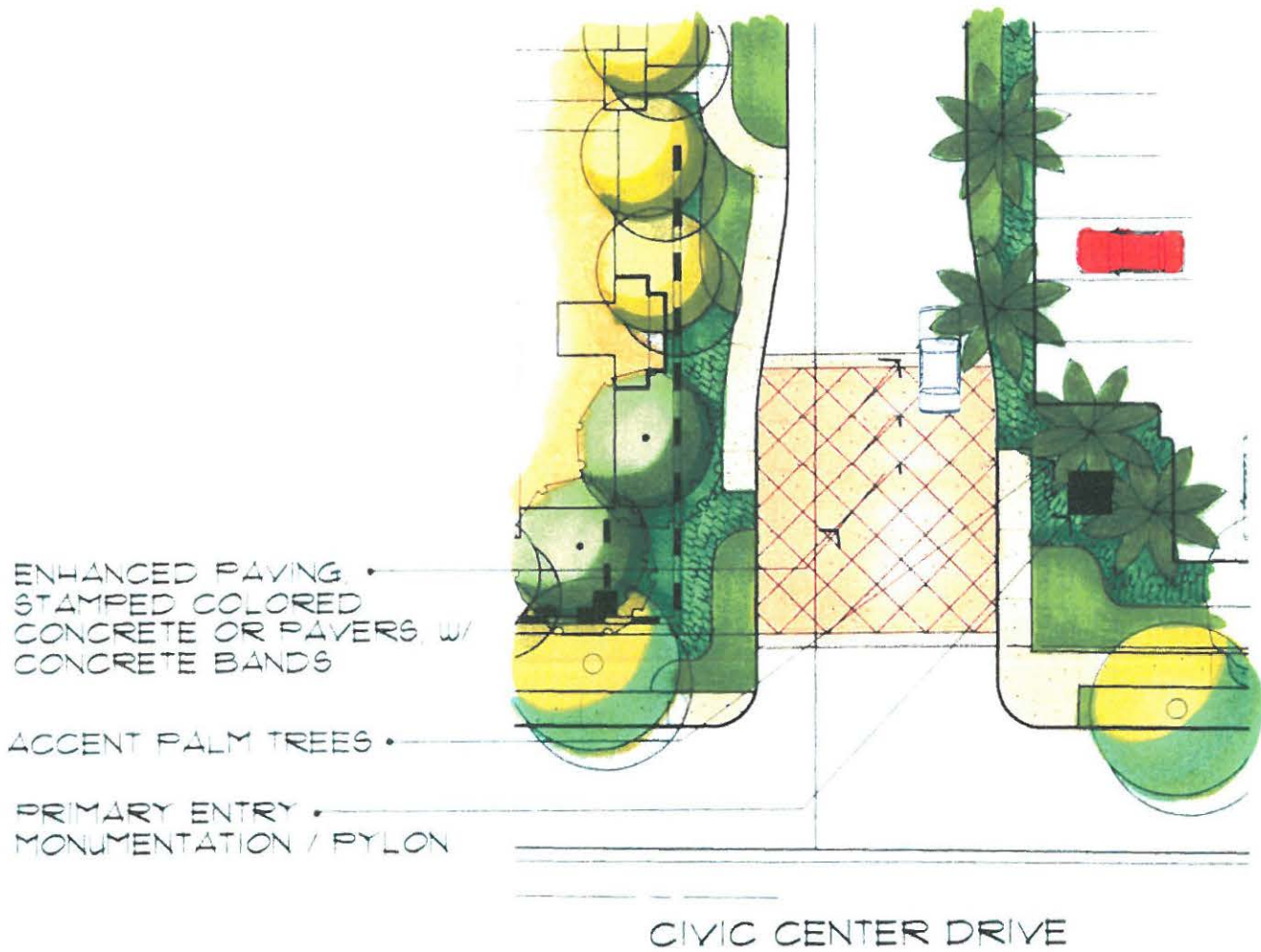
The north and east sections of Rancho Cucamonga Town Square contain restaurants, retail stores, shops, and four-story offices building along with associated roadways and parking areas. The central focus of this area is the motor court, which is surrounded by retail shops on two sides, a combination retail/apartment building on a third side and the Foothill-Haven corner to the north. This motor court is designed to function as a highly-articulated pedestrian/vehicular-use space featuring enhanced, textured paving, tree wells with iron grates, benches, colorful planting spaces, theme lighting, canopies of date palms, and assorted shade trees (see Figure 24, *Retail Area Landscape Plan*, and Figure 25, *Benches – Typical*). The north end is defined by a stone colonnade and arbor, fountain, seating areas and large stone towers. The south end features a raised podium/stage area which will function throughout the year for musical groups, speakers, displays, etc. This podium/stage is depicted in Figure 26, *Podium Near Mixed-Use Building*.

The design intent for the motor court is to create a pedestrian-friendly outdoor space that can fulfill vehicular parking needs during the week. On weekends or special occasions, the motor court, which is paved with decorative pavers, can be closed off to vehicular traffic and used for strictly pedestrian/people-oriented functions such as a Farmer's market, product displays, concerts, community gatherings and activities, as well as holiday festivities. Decorative posts and overhead cables will be outfitted with colorful awnings to provide summer shade, color and breeze-induced sounds. This space, in conjunction with the adjacent De Ambrogio Heritage Plaza, can truly become a "town square" suitable for use by Rancho Cucamonga residents as a gathering place for year-around special events.

Throughout the commercial/retail areas, the street furniture, arbors, walkways and plant palette will create a pleasant environment for shoppers, strollers, diners and business people and will reinforce the historical vineyard/winery theme. Parking lots will be generously planted with shade trees to provide relief and help reduce the perceived scale of paved areas.



# Rancho Cucamonga Town Square



SOURCE: FRANK RADMACHER ASSOCIATES, INC.



Figure 22  
**TYPICAL PRIMARY ENTRY TREATMENT**

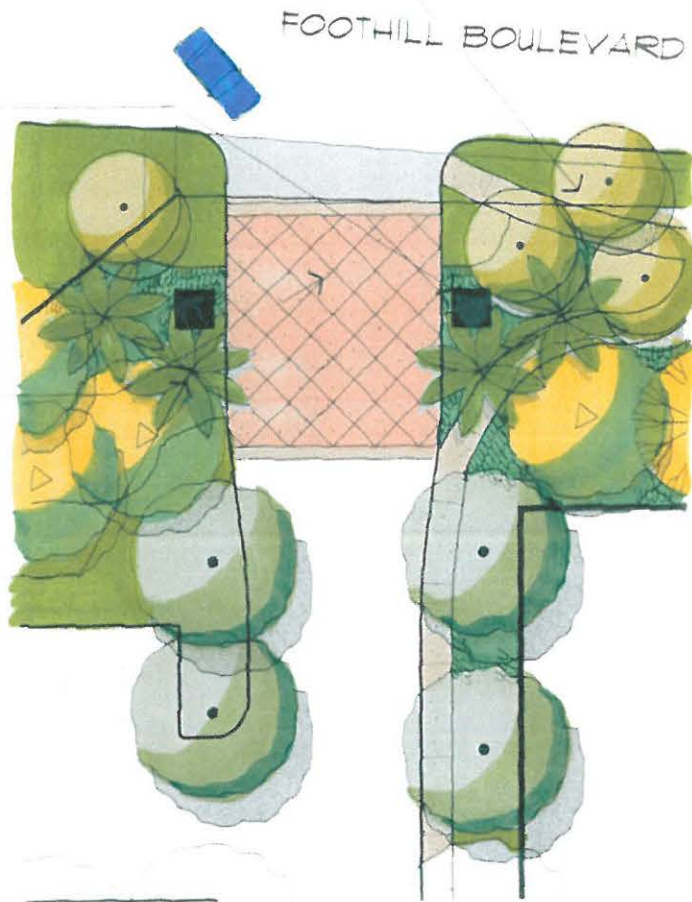
# Rancho Cucamonga Town Square

FOOTHILL BOULEVARD •  
STREETSCAPE AS PER  
CITY OF RANCHO CUCAMONGA  
GUIDELINES

SECONDARY ENTRY •  
VEGETATION / BY-LON

ENTRANCED PLANTING •  
STYLIZED COLORED  
CONCRETE PATTERS &  
CONCRETE BANDS

ACCENT PALM TREES •



SOURCE: FRANK RADMACHER ASSOCIATES, INC.

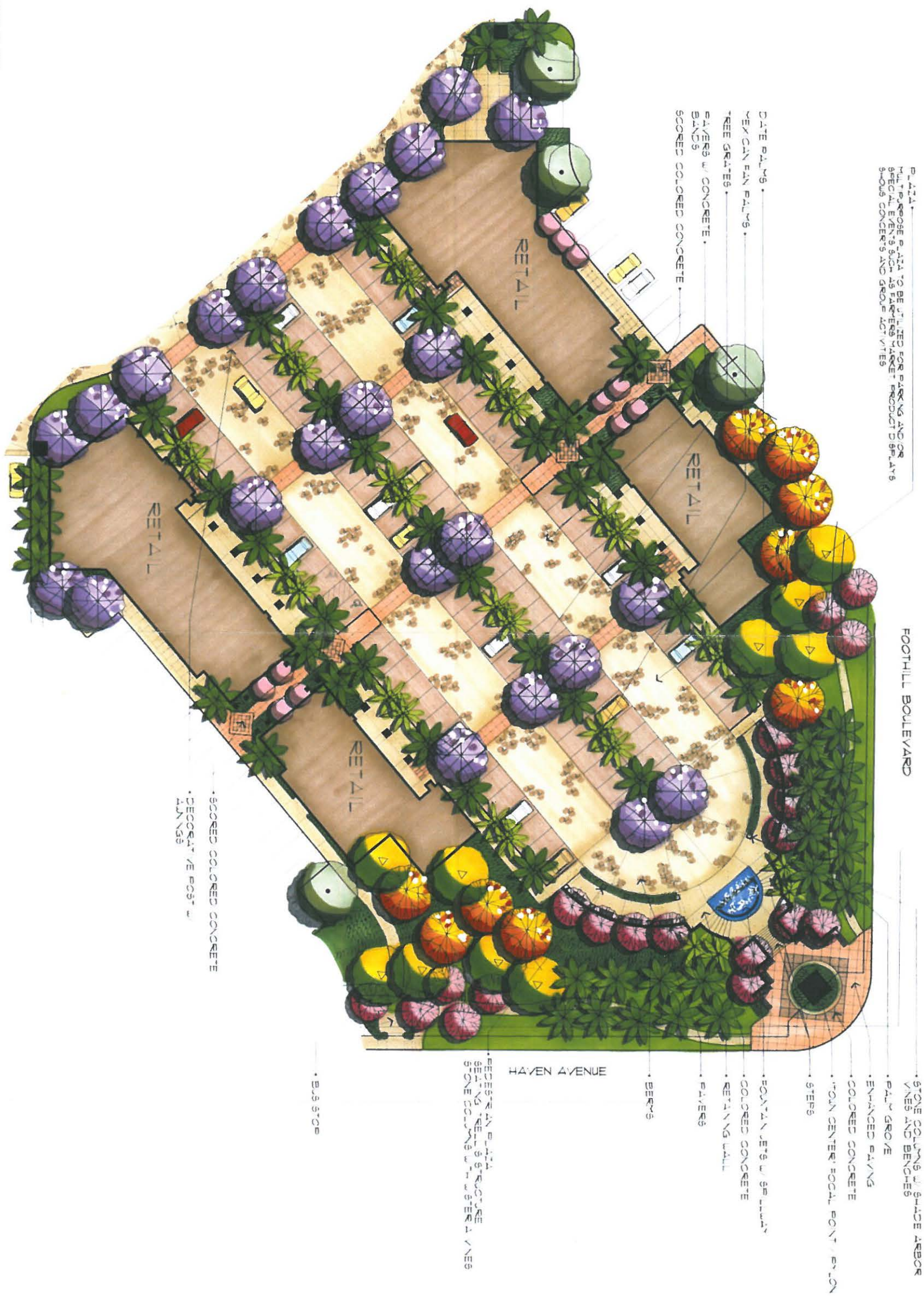


## TYPICAL SECONDARY ENTRY TREATMENT

Figure 23



Rancho Cucamonga Town Square



SOURCE: FRANK RADMACHER ASSOCIATES, INC.



RETAIL AREA LANDSCAPE CONCEPT

Figure 24



*Rancho Cucamonga Town Square*

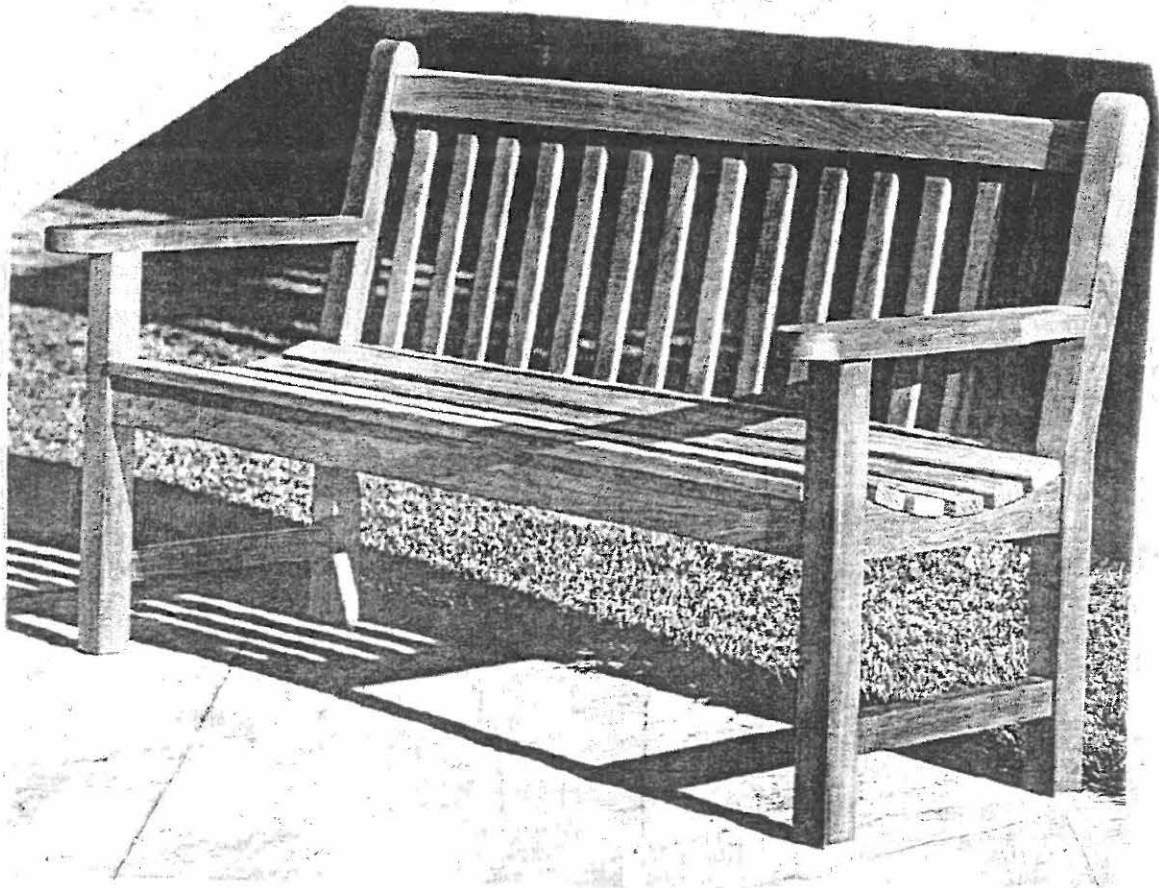


Figure No. 25  
**BENCHES (TYPICAL)**



*Rancho Cucamonga Town Square*

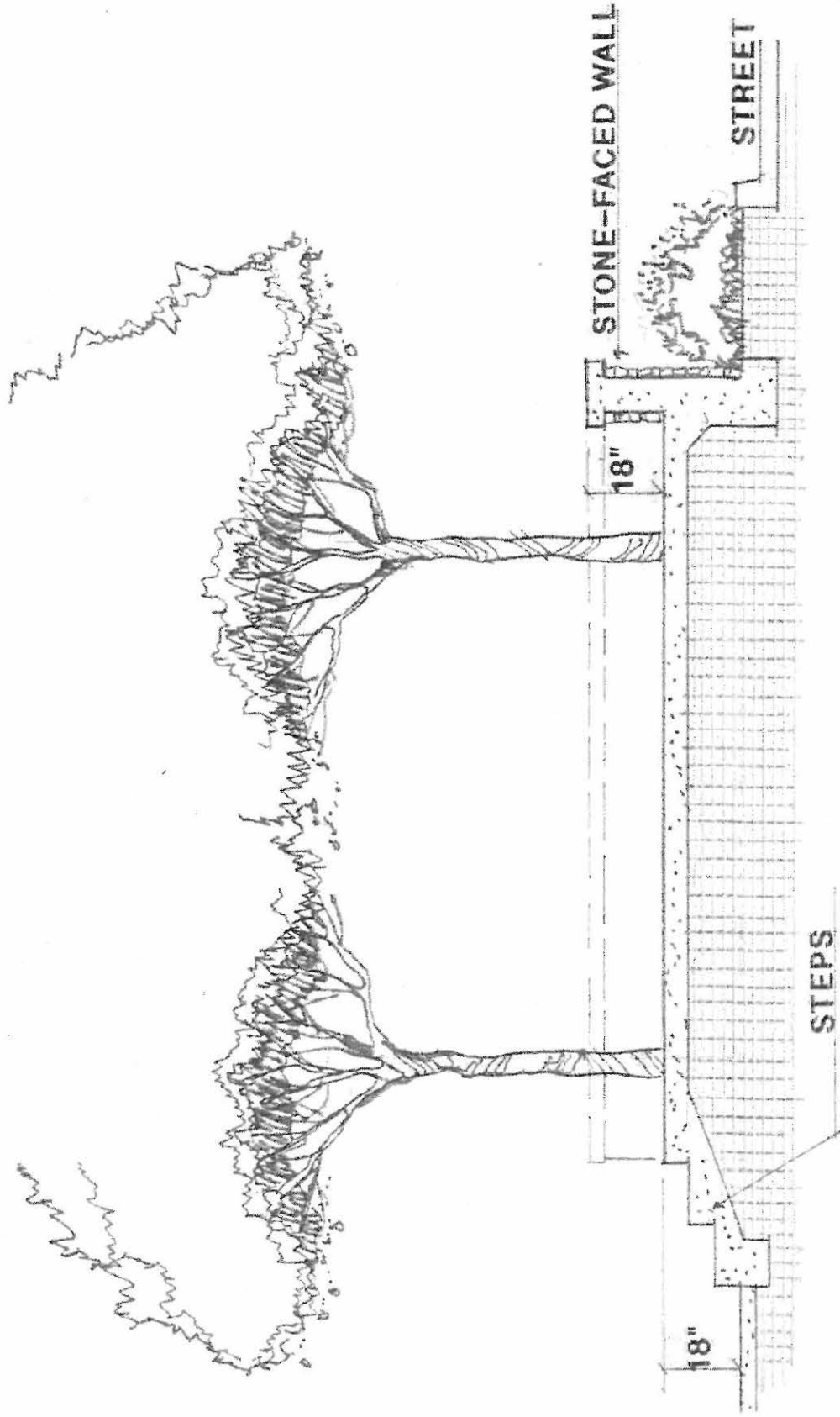
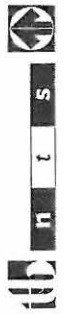


Figure 26

**PODIUM NEAR MIXED-USE BUILDING**



#### **4.2.5 De Ambrogio Heritage Plaza**

In an attempt to honor and memorialize the family history and heritage of the land occupied by the RANCHO CUCAMONGA TOWN SQUARE, a central plaza has been designed for the use, enlightenment, and enjoyment by the public. The plaza, to be known as the “De Ambrogio Heritage Plaza” is designed to serve as a gathering place for the entire community. It is intended that the plaza become the City of Rancho Cucamonga’s unofficial “town square.” The plaza will feature trellis structures, teak benches, and stone columns planted with wisteria vines. These elements will encircle a central fountain. The trellis structures will break at select points to allow access to the fountain. Accent trees and towering date palms will help to further articulate the plaza. Historical winery-related artifacts will be displayed for public information and will help to describe the wine-making process. Grape vines will be planted in key areas around the plaza. The plaza will be paved with decorative concrete pavers interspersed with concrete banding as accent. Urban paseos will connect the nearby live/work buildings and freestanding apartments to De Ambrogio Heritage Plaza. The plaza is designed to serve as a true urban focal point for RANCHO CUCAMONGA TOWN SQUARE, and also for the city of Rancho Cucamonga as a whole.

#### **4.2.6 Recreational Amenities for Project Residents**

Recreational amenities will be available to all project area residents (including the apartments, mixed-use building, and live/work units) and will include a community multi-purpose room, a swimming pool and spa, two tot lots, open “free-play” turf areas, barbecue facilities, and a walking/jogging trail with exercise stations. Pedestrian walkways allow circulation within the neighborhood as well as to the adjacent commercial/retail/restaurant uses.

#### **4.2.7 Apartment Complex Landscaping**

The apartment development is located within the westerly portion of RANCHO CUCAMONGA TOWN SQUARE and will consist of 414 units. A primary gated entry and two secondary gated entries allow access to the project along with perimeter walls and fencing. Each of the apartment buildings that surround a motor court will be designed with enhanced paving, flowering vines, trees and shrubs to “soften” and complement architectural elements. The motor courts will not only function as parking access but also as pedestrian-oriented spaces. Trees will play an important role in the landscape development to provide shade, shadow, texture, color, screening, enhancement, and scale as relates to the building massing. Outdoor lighting will assure safety and security throughout with the use of decorative, thematic fixtures. Landscaping will likewise be illuminated at focal points for accent purposes.

#### **4.2.8 Recommended Plant Palette**

A plant palette for the RANCHO CUCAMONGA TOWN SQUARE has been developed to enrich the aesthetic appeal of the project. The plant materials have been specially selected for appropriateness for Rancho Cucamonga’s hot, windy climate. Consideration has been given to: (1) plant height, branching pattern and density, (2) the maintenance and water requirements of the materials, and (3) aesthetic considerations such as flowering, fruiting, and leaf color. The plant palette begins on page 4-23. The plant materials on the list are recommended for use throughout the RANCHO CUCAMONGA TOWN SQUARE project. Please note that this list is not intended to restrict the use of other appropriate plant materials. However, as the following plants will form the “core” of the landscaping used on-site this approach will ensure thematic landscape continuity throughout the project.

# Rancho Cucamonga Town Square 4.0 Urban Design Guidelines

## Botanical Name

## Common Name

### TREES

<i>Brachychiton Populneus</i>	Bottle Tree
<i>Citrus Spp.</i>	Citrus Spp.
<i>Rhus lancea</i>	African Sumac
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Schinus molle</i>	California Pepper
<i>Olea europaea</i>	Olive
<i>Jacaranda acutifolia</i>	Jacaranda
<i>Melaleuca leucadendra</i>	Cajeput Tree
<i>Lagerstroemia faueri</i>	Crepe Myrtle
<i>Pinus eldarica</i>	Eldarica Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Pyrus calleryana 'aristocrat'</i>	Bradford Pear
<i>Quercus virginiana</i>	Southern Live Oak
<i>Quercus suber</i>	Cork Oak
<i>Quercus ilex</i>	Holly Oak
<i>Tristania conferta</i>	Brisbane Box
<i>Raphiolepis 'majestic beauty'</i>	Indian Hawthorn
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Magnolia grandiflora 'samuel sommers'</i>	Southern Magnolia
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Liquidambar 'palo alto'</i>	American Sweetgum
<i>Ligustrum japonica</i>	Waxleaf Privet
<i>Ulmus parvifolia sempervirens</i>	Chinese Elm
<i>Platanus acerifolia</i>	London Plane Tree
<i>Albizia julibrissin</i>	Silk Floss Tree
<i>Prunus cerasifera pissardi</i>	Purple Plum
<i>Alnus rhombifolia</i>	California White Alder
<i>Pinus halepensis</i>	Aleppo Pine

### PALMS

<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Cocos plumosa</i>	Queen Palm
<i>Chamerops humilis</i>	Mediterranean Fan Palm
<i>Phoenix dactylifera</i>	Date Palm

### SHRUBS

<i>Raphiolepis indica spp.</i>	Indian Hawthorn
<i>Pittosporum tobira spp.</i>	Mock Orange
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Ligustrum texanum</i>	Texas Privet

Botanical  
Name

Common  
Name

**SHRUBS** (continued)

<i>Carissa grandiflora</i> spp.	Natal Plum
<i>Buxus microphylla japonica</i>	Boxwood
<i>Euonymus japonica</i> spp.	Evergreen Euonymus
<i>Juniperus</i> spp.	Juniper
<i>Nerium oleander</i> 'petite pink'	Oleander
<i>Photinia fraseri</i>	Frasers' Photinia
<i>Tecoma capensis</i>	Cape Honeysuckle
<i>Xylosma congestum</i>	Shiny xylosma
<i>Prunus caroliniana</i> 'compacta'	Carolina Cherry
<i>Lantana</i> spp.	Lantana
<i>Hibiscus sinensis</i> spp.	Hibiscus
<i>Bougainvillea</i> 'rosenka'	Bougainvillea
<i>Bougainvillea</i> 'crimson jewel'	Bougainvillea
<i>Ilex</i> spp.	Holly
<i>Podocarpus</i> spp.	Podocarpus
<i>Myrtus communis compacta</i>	True Myrtle
<i>Moraea bicolor</i>	Fortnight Lily
<i>Agapanthus</i> spp.	Lily of the Nile
<i>Hemerocallis</i> spp.	Day Lily
<i>Liriope</i> spp.	Lily Turf
<i>Strelitzia reginae</i>	Bird of Paradise
<i>Rosmarinus</i> off. <i>Prostratus</i>	Dwarf Rosemary
<i>Trachelospermum jasminioides</i>	Star Jasmine
<i>Cuphea hyssophylla</i>	False Heather
<i>Buxus microphylla japonica</i>	Japanese Boxwood
<i>Murraya exotica</i>	Orange Jessamine
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Liriope muscari</i>	Lily Turf
<i>Escallonia fradesii</i>	Pink Escallonia
<i>Abelia grandifolia</i> 'edward goucher'	Pink Abelia
<i>Phormium tenax</i> spp.	Flax
<i>Euryops pectinatus</i>	N.C.N.
<i>Myrsine africanus</i>	African Boxwood
<i>Viburnum tinus compacta</i> 'spring bouquet'	Compact Virburnum

**VINES**

<i>Rosa banksiae</i>	Lady Bank's Rose
<i>Cissus antarctica</i>	Kangaroo Treebine
<i>Pandorea jasminoides</i> 'rosea'	Pink Bower Vine
<i>Pandorea jasminoides</i> 'alba'	White Bower Vine
<i>Bignonia violacea</i>	Purple Trumpet Vine
<i>Gelsemium sempervirens</i>	Carolina Jessamine



# Rancho Cucamonga Town Square 4.0 Urban Design Guidelines

<u>Botanical Name</u>	<u>Common Name</u>
<b>VINES (continued)</b>	
<i>Phaedranthus buccinatorius</i>	Blood-Red Trumpet Vine
<i>Bougainvillea spp.</i>	N.C.N.
<i>Jasminum polyanthum</i>	Pink Jasmine
<i>Wisteria sinensis</i>	Wisteria

## **GROUND COVER**

<i>Lonicera j. 'Halliana'</i>	Hall's Honeysuckle
<i>Fragaria chiloensis</i>	Ornamental Strawberry
<i>Gazania 'copper king'</i>	Gazania
<i>Gazania 'mitsua yellow'</i>	Gazania
<i>Potentilla verna</i>	Cinquefoil
<i>Hedera helix 'needlepoint'</i>	Needlepoint Ivy

## **TURF GRASS**

Seeded or sodded improved fescue blend "Marathon II," "medallion," "water-saver"

All landscape areas shall be installed with automatic irrigation. Systems shall emphasize the use of water-conservation Measures (i.e., adjustable spray heads, check valves, "rain switch." Valving to recognize sun exposures, lawn/ground cover areas and slope/flat areas.

### **4.2.9 Special Landscape Guidelines and Standards**

- A. Landscaping along Foothill Boulevard and Haven Avenue shall be bermed to a height of three (3) to four (4) feet to shield views of on-site parking areas from passing motorists.
- B. Trees and street trees shall be required per City standards and as follows: (1) one tree per thirty (30) lineal feet of building perimeter, (2) one tree per lineal feet of property boundary perimeter, (3) one tree per three parking spaces, and (4) trees within the landscape setback areas.
- C. At least 30 percent of the required trees used in parking lots and areas shall be 24-inch box trees or larger.
- D. The design of outdoor lighting fixtures and their support shall be architecturally compatible with the approved elevation design. Freestanding light standards shall not exceed fifteen (15) feet in height.
- E. Thorny vines shall be used wherever appropriate along walls and fences to discourage the potential for graffiti.

### **4.2.10 Public Art**

Public art should be provided throughout the RANCHO CUCAMONGA TOWN SQUARE project, either in conjunction with the history of the site and the area and/or other art elements. Public art may include mosaics, fountains, pools, 3-D sculpture and reliefs, historical features related to the site's former use as a vineyard, and other similar elements of an artistic nature.

### **4.2.11 Walls and Fencing**

Community walls and fencing are proposed around the residential portions of the project (see Figure 27, *Community Walls & Fencing Plan*). The residential areas will be gated for security reasons. Fencing will consist of a six (6) foot high solid masonry wall alternating with a five (5) to six (6) foot high tubular steel fence along the Deer Creek Drainage Channel. The solid wall will be erected where needed to provide adjacent dwelling units with visual and acoustical privacy. The wall will switch to tubular steel fencing in other areas where visual and acoustical privacy is not required. Open fencing will also promote easy surveillance of the trail by residents of RANCHO CUCAMONGA TOWN SQUARE. Assorted shrubs, vines and ground covers along the wall shall be the responsibility of the apartment complex management association.

The solid wall will continue along a portion of the project's southern boundary between the drainage channel and the terminus of Civic Center Drive. At this point, the wall will transition to a five (5) to six (6) feet tubular steel fencing. This fencing will extend from the terminus of Civic Center Drive, along the southern, eastern, and western boundaries of the apartment complex. Six (6) foot high masonry columns (stone or stucco) will be used periodically along the length of the steel fence (see Figure 28, *Apartment Site Wall & Fencing Details*). On the eastern and northern portion of the apartment complex, the steel fence will tie into the apartment buildings to minimize the visual importance of the fence and emphasize the architecture. No walls or fencing will be used in other portions of the RANCHO CUCAMONGA TOWN SQUARE project.

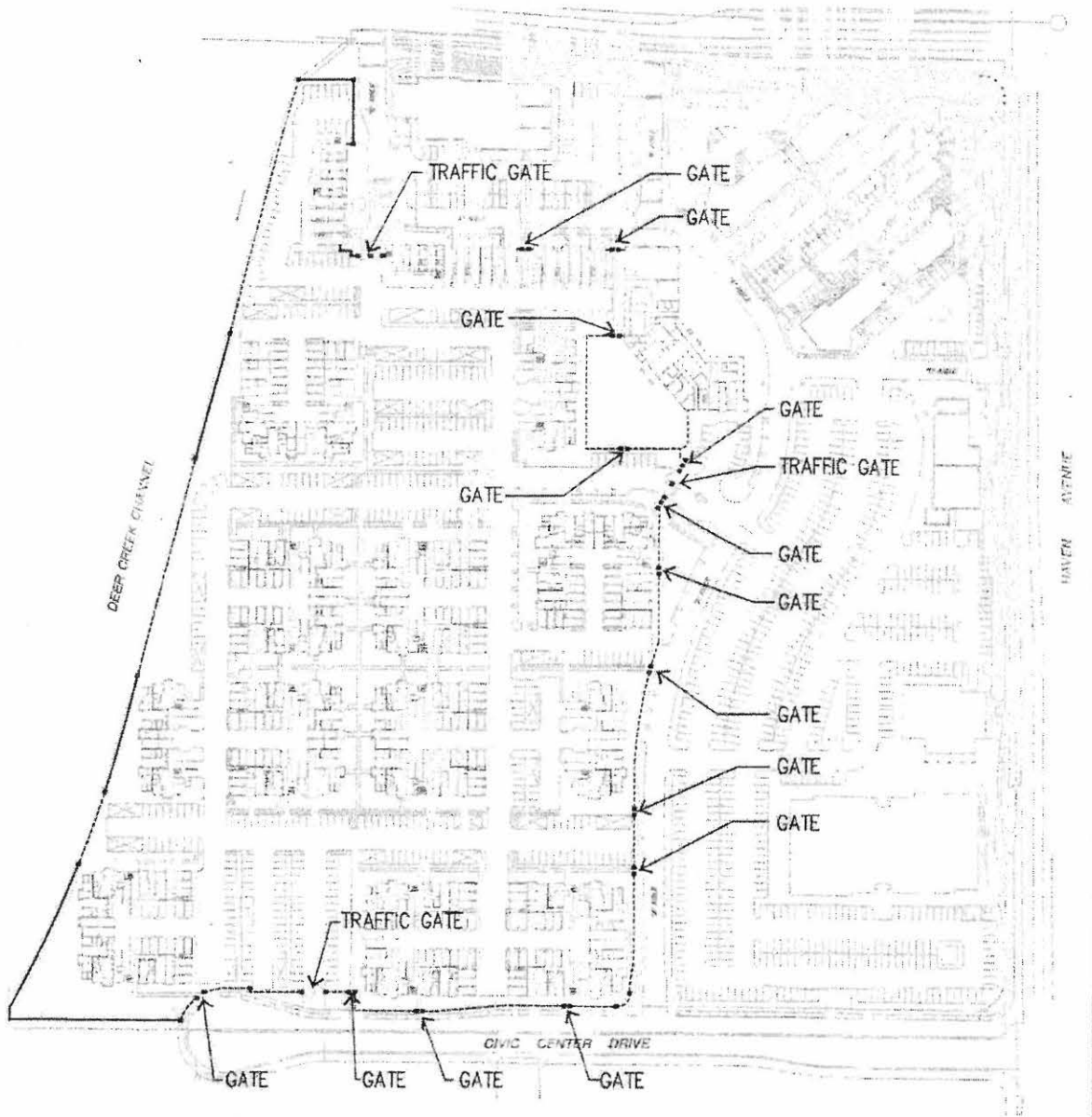
### **4.2.12 Trash Enclosures**




Trash enclosures in RANCHO CUCAMONGA TOWN SQUARE are designed to blend in with the overall architecture (see Figure 29, *Typical Trash Enclosures*). All trash enclosures shall consist of minimum six (6) foot high solid block walls, covered with stucco. Each trash enclosure shall have a painted or stained wooden gate installed for access. If desired, painted or stained wood trellis covers may be installed on select trash enclosures at the option of the developer/builder. If constructed, the trellis structures shall be erected on eight (8) foot high columns covered with stone or stone-like material.

### **4.2.13 Uniform Sign Program**

Any and all signs within RANCHO CUCAMONGA TOWN SQUARE shall be subject to the standards and requirements of Chapter 14, SIGNS, in the Rancho Cucamonga Municipal Code. The purpose of this section is to promote development of a Uniform Sign Program that is compatible with the character established for RANCHO CUCAMONGA TOWN SQUARE. The Uniform Sign Program should consist of materials, forms, colors, and types styles that complement architectural and landscape architectural features in the community, while being consistent with the provisions contained in Chapter 14 of the City's Municipal Code. The overall signage program should include community identification signage, as well as directional signs that direct persons in a convenient manner to various locations and activities throughout the Master Plan development.

# Rancho Cucamonga Town Square



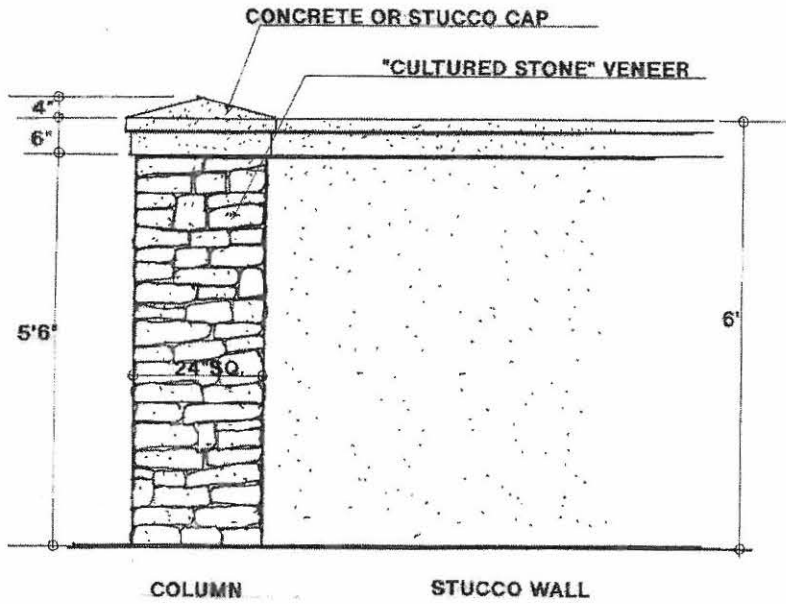
<b>LEGEND</b>		6' MASONRY WALL
		5'-6' TUBULAR STEEL FENCE
		6' MASONRY COLUMN

SOURCE: FRANK RADMACHER ASSOCIATES, INC.

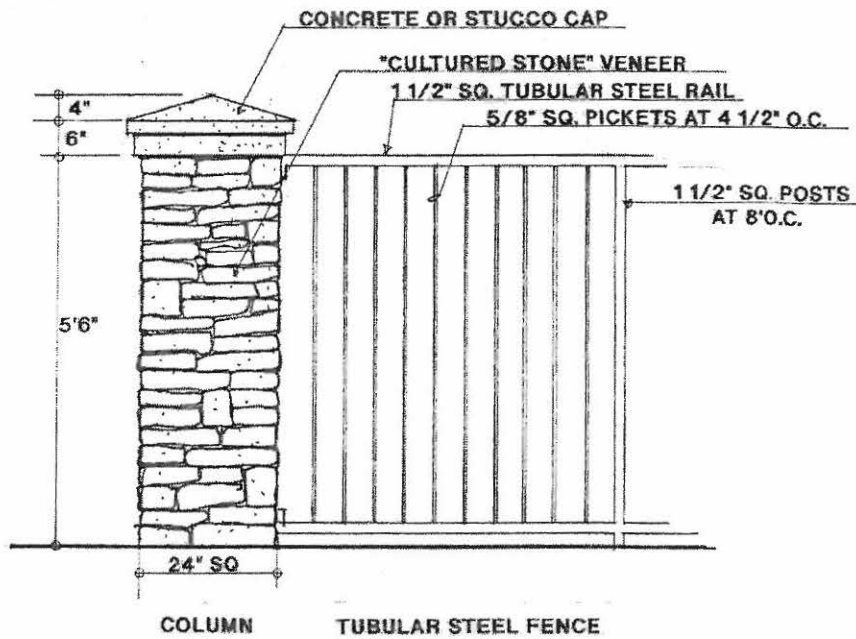


Figure No. 27  
**COMMUNITY WALLS & FENCING PLAN**

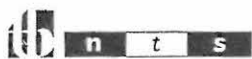
# Rancho Cucamonga Town Square



APARTMENT SITE WALL DETAILS



SOURCE: FRANK RADMACHER ASSOCIATES, INC.



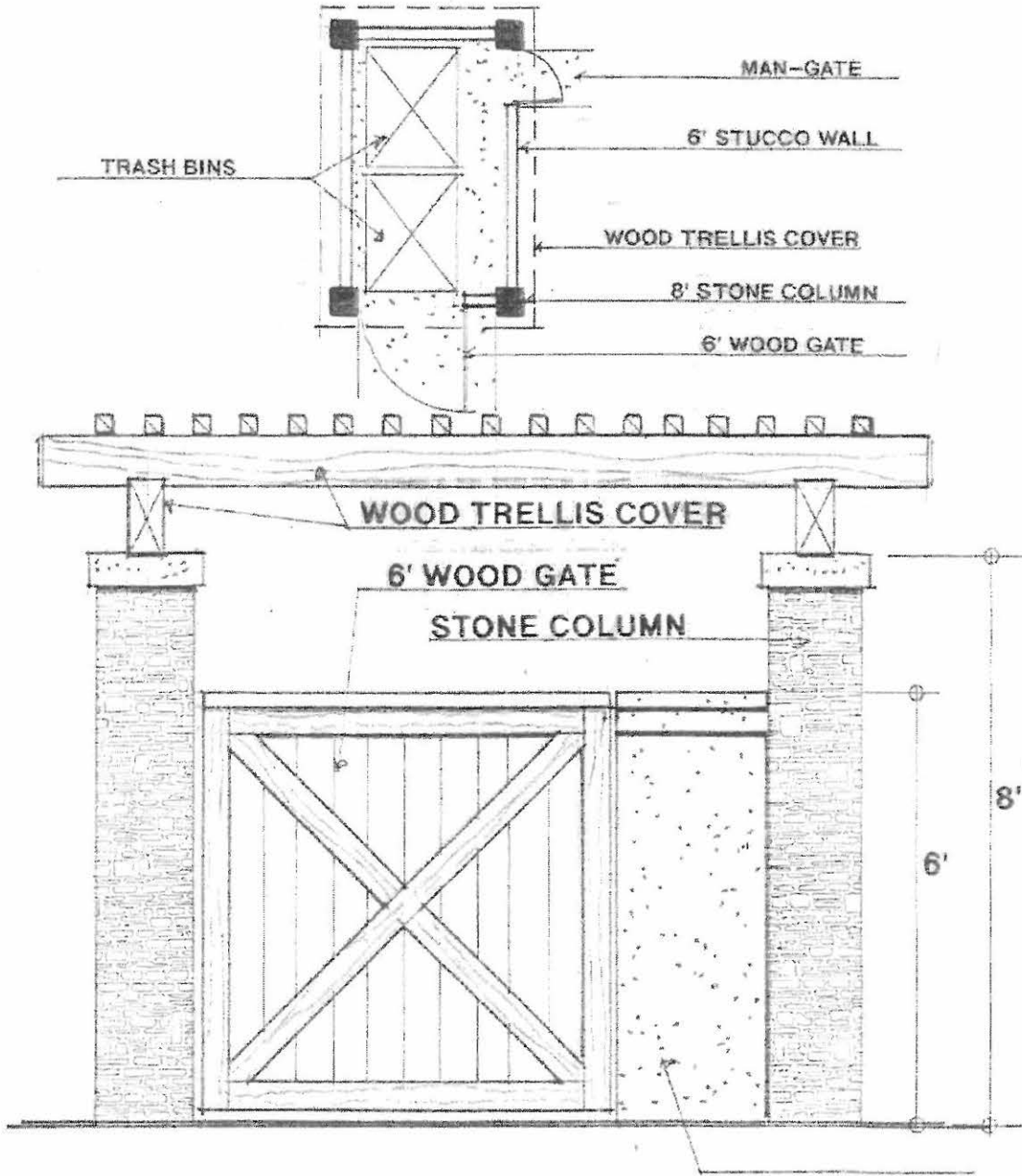
## APARTMENT SITE WALL & FENCING DETAILS

Figure 28



# Rancho Cucamonga Town Square

## PLAN TRASH ENCLOSURE



## ELEVATION TRASH ENCLOSURE

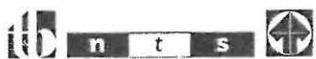


Figure 29  
**TRASH ENCLOSURE (TYPICAL)**

## Rancho Cucamonga Town Square 4.0 Urban Design Guidelines

- A. A Uniform Sign Program shall be developed for the entire project (not on a piecemeal basis) and submitted to the Planning Commission for review prior to or in conjunction with approval of any Final Map for the RANCHO CUCAMONGA TOWN SQUARE project. All signs with Rancho Cucamonga Town Square shall conform to this program and any other applicable City sign standards.
  
- B. Pursuant to any City-approved Uniform Sign Program for RANCHO CUCAMONGA TOWN SQUARE, the following signs shall be permitted within the project:
  - 1. Community Entry Signage. A community entry sign shall be located at the southwestern corner of the intersection of Foothill Boulevard and Haven Avenue (see Figure 16, *Foothill Boulevard/Haven Avenue Intersection Treatment*). A smaller community entry sign shall be provided at the Haven Avenue/Civic Center Drive intersection (see Figure 17, *Haven Avenue/Civic Center Drive Intersection Treatment*). The community signs shall feature the RANCHO CUCAMONGA TOWN SQUARE name and logo.
  
  - 2. Primary Entry Signage. Primary entry signs shall be provided at the primary access driveways on the Foothill Boulevard/Street "A" intersection, Haven Avenue, and the Civic Drive/Street "A" intersection (see Figure 18, *Typical Internal Intersection Treatment*). The primary entry signs shall feature the names of individual businesses that can be accessed by the particular driveway.
  
  - 3. Internal Directional Signage. Internal directional signs shall be provided along Street "A" and elsewhere as needed and appropriate.

## 4.3 ARCHITECTURAL DESIGN GUIDELINES

### 4.3.1 Architectural Design Guidelines for Mixed-Use, Live/Work and Commercial Buildings

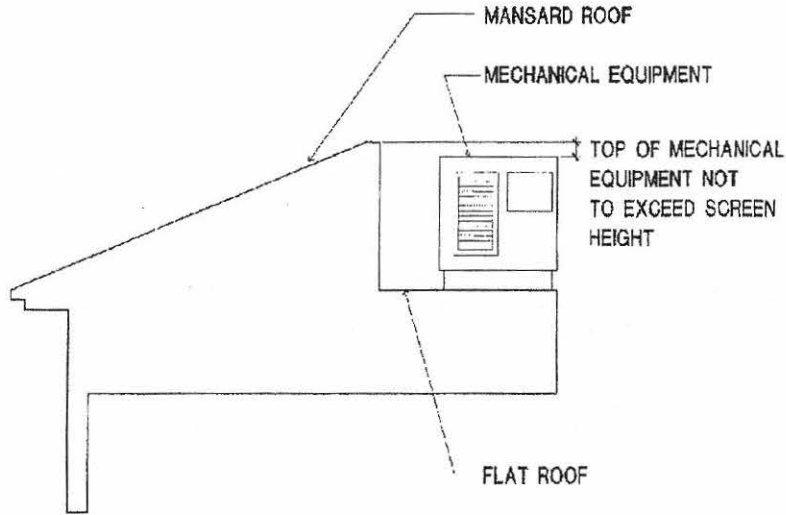
The following architectural design guidelines shall apply to all commercial structures (retail, specialty market, restaurants, live/work, and mixed-use) within the RANCHO CUCAMONGA TOWN SQUARE project. (See Figures 31A, 31B & 31C, *Conceptual Architecture - Retail*; Figure 32A, *Conceptual Architecture - Mixed- Use (Front & Rear Views)*; Figure 32B, *Conceptual Architecture – Live/Work Building (Primary Building)*; Figure 32C, *Conceptual Architecture – Live/Work Building (Secondary Building)*; Figure 33, *Typical Building Entries*; and Figure 34, *Typical Store Fronts*).

- **Building Character:** The architectural character of the commercial buildings is designed to reflect the early agrarian structures found in town, yet with a contemporary twist. The retail buildings are pedestrian-scaled and incorporate a rich palette of materials.
- **Patios, Arcades and Arbors:** Walkways and patios should be shaded by building roof over-hangs, arcades, and arbors.
- **Railings:** Where used, railings should be designed of smooth tubular steel.
- **Roofs:** Roofs shall be predominantly flat with tower accents of hip concrete tile.
- **Windows:** Windows shall be designed with divided lights with foam trim accents.
- **Doors and Entries:** Doors and entries shall be identified by overhangs, awnings or other architectural features.
- **Fenestration:** Each building type has slight variations in the fenestration as required by the use.
- **Exterior Colors:** The overall project color palette will consist of earth-tones that will be compatible with the colors used on surrounding off-site buildings. These colors will be tie-in with colors used on the adjacent on-site apartment complex.
- **Exterior Building Materials:** Plaster walls with stone accents and roofs of standing seam metals or clay tile will be used, which are typical of this architectural vernacular. The details should be restrained and simple to serve as a backdrop for the stone accents and retail entries. All commercial buildings shall be constructed of non-flammable materials per City of Rancho Cucamonga and Uniform Building Code standards and requirements.
- **Roof-Mounted & Ground-Mounted Equipment:** All roof-mounted and ground-mounted equipment shall be screened from all sides and shall be architecturally integrated with the building design. Examples of appropriate screening techniques are depicted in Figure 30, *Equipment Screening*.

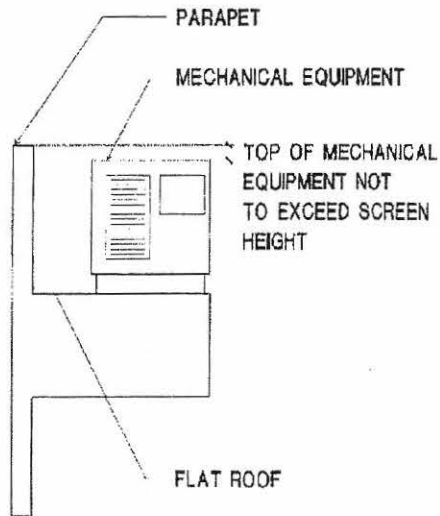
### 4.3.2 Office Architectural Design Guidelines

The following architectural design guidelines shall apply to the five-story office structure within the RANCHO CUCAMONGA TOWN SQUARE project (see Figures 35A, 35B, and 35C, *Conceptual Architecture - Office*).

# Rancho Cucamonga Town Square



SLOPED ROOF



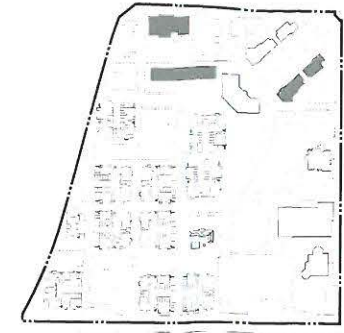
PARAPET



# Rancho Cucamonga Town Square



SOUTH  
(BUILDING 4)



WEST  
(BUILDING 5)



EAST  
(BUILDING 5)

SOURCE: LANGDON WILSON ARCHITECTURE





# Rancho Cucamonga Town Square



INTERNAL  
(BUILDING 5)



SOUTH  
(BUILDING 5)



NORTH  
(BUILDING 5)

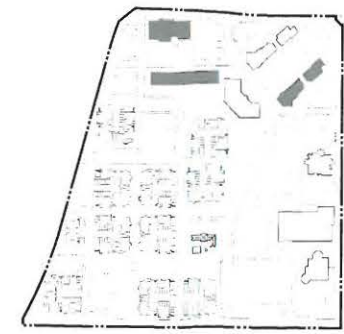
SOURCE: LANGDON WILSON ARCHITECTURE



Figure 31B  
**CONCEPTUAL ARCHITECTURE - RETAIL**



# Rancho Cucamonga Town Square



NORTH ELEVATION



WEST ELEVATION

SOURCE: LANGDON WILSON ARCHITECTURE



Figure 31C  
**CONCEPTUAL ARCHITECTURE - RETAIL**



# Rancho Cucamonga Town Square



WEST

SOUTHWEST ELEVATION

SOUTH



EAST

NORTHEAST ELEVATION

NORTH

SOURCE: UNITED DOMINION REALTY TRUST



Figure 32A  
CONCEPTUAL ARCHITECTURE-  
MIXED-USE (FRONT & REAR VIEWS)



# Rancho Cucamonga Town Square



SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION

SOURCE: UNITED DOMINION REALTY TRUST



Figure 32B  
CONCEPTUAL ARCHITECTURE -  
LIVE/WORK BUILDING (PRIMARY BUILDING)



# Rancho Cucamonga Town Square



REAR ELEVATION



SIDE ELEVATION



FRONT ELEVATION

SOURCE: UNITED DOMINION REALTY TRUST



Figure 32C  
CONCEPTUAL ARCHITECTURE -  
LIVE/WORK BUILDING (SECONDARY BUILDING)





EXHIBIT A



EXHIBIT B

SOURCE: LANGDON WILSON ARCHITECTURE



# Rancho Cucamonga Town Square

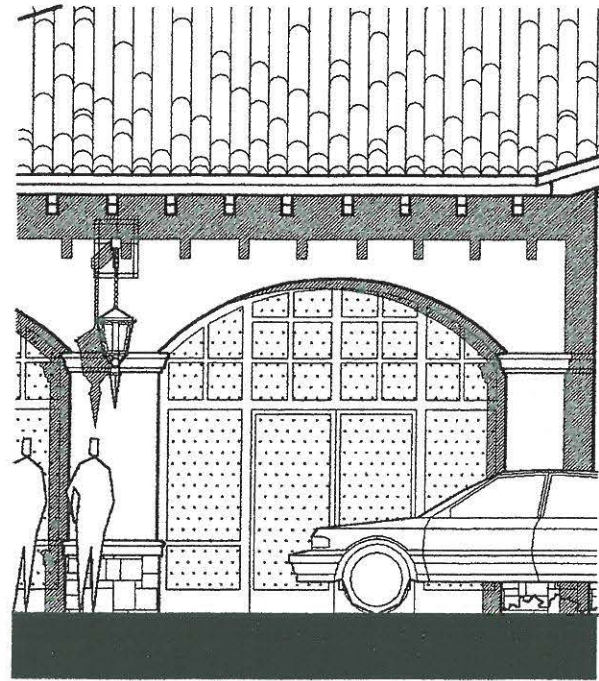


EXHIBIT C

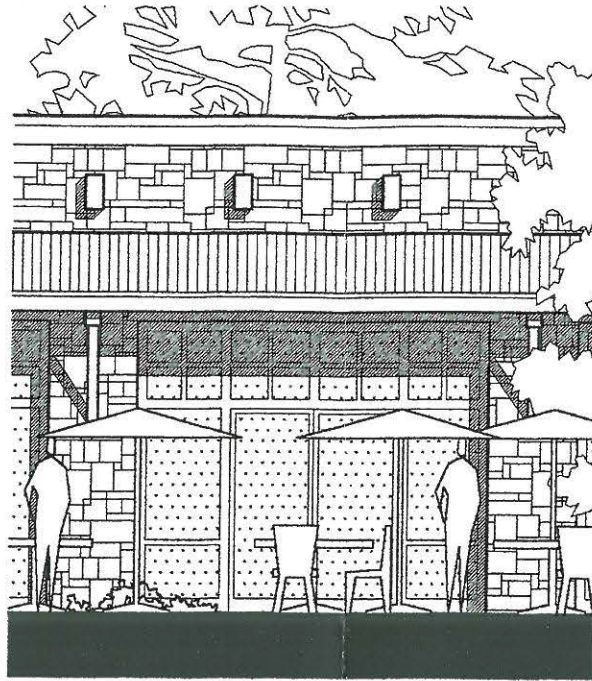


EXHIBIT D



EXHIBIT E

SOURCE: LANGDON WILSON ARCHITECTURE





# Rancho Cucamonga Town Square

THIS EXHIBIT IS CONCEPTUAL AND PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. THE ACTUAL DESIGN OF THE BUILDING WILL BE DETERMINED DURING ARCHITECTURAL REVIEW BY THE CITY.



NORTH  
(BUILDING D)

SOURCE: LANGDON WILSON ARCHITECTURE



CONCEPTUAL ARCHITECTURE - OFFICE (NORTH)

Figure 35A

# Rancho Cucamonga To

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SOURCE: LANGDON WILSON ARCHITECTURE



Figure 35C  
**CTURE - OFFICE (EAST & WEST)**



# Rancho Cucamonga Town Square

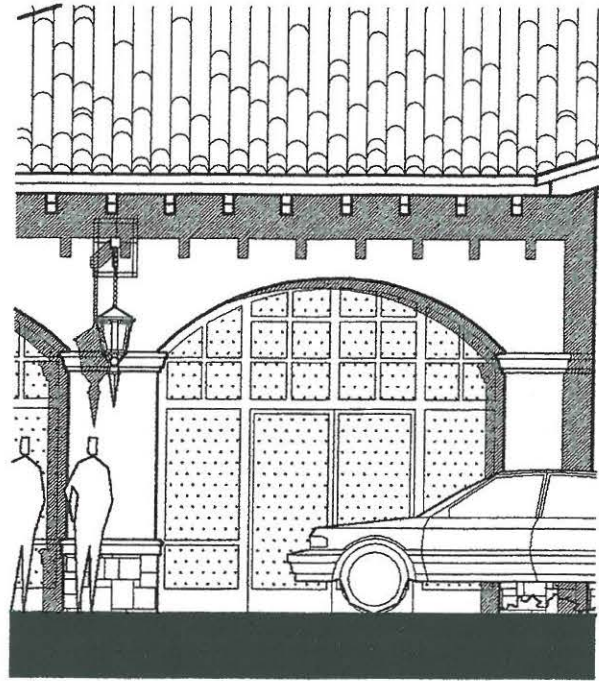


EXHIBIT C

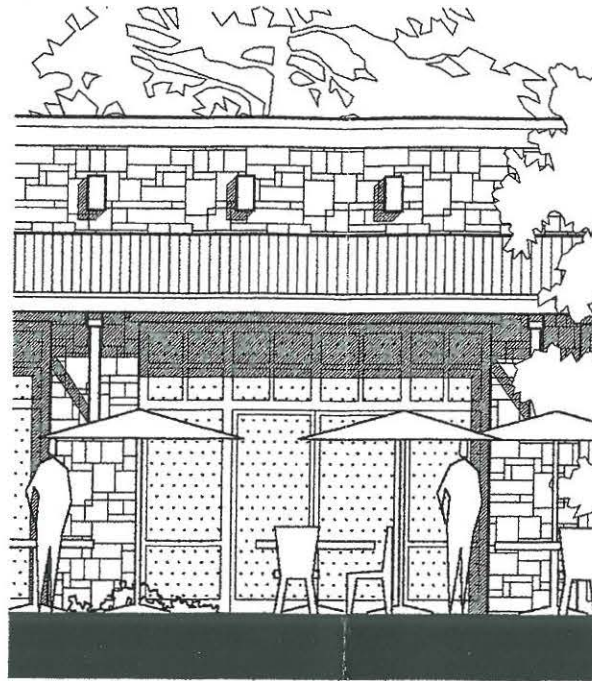


EXHIBIT D



EXHIBIT E

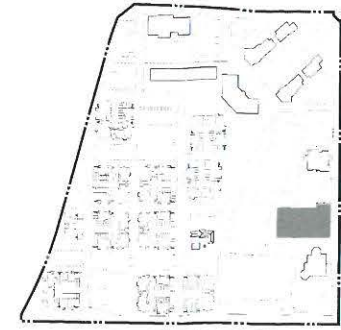
SOURCE: LANGDON WILSON ARCHITECTURE





# Rancho Cucamonga Town Square

THIS EXHIBIT IS CONCEPTUAL AND PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. THE ACTUAL DESIGN OF THE BUILDING WILL BE DETERMINED DURING ARCHITECTURAL REVIEW BY THE CITY.



NORTH  
(BUILDING D)

SOURCE: LANGDON WILSON ARCHITECTURE



CONCEPTUAL ARCHITECTURE - OFFICE (NORTH)

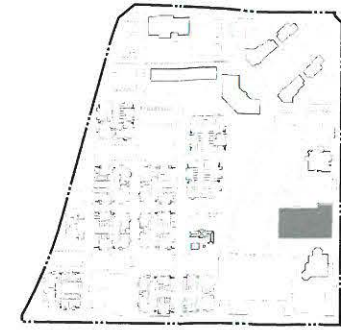
Figure 35A

Page 4-37



# Rancho Cucamonga Town Square

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SOUTH  
(BUILDING D)

SOURCE: LANGDON WILSON ARCHITECTURE



CONCEPTUAL ARCHITECTURE - OFFICE (SOUTH)

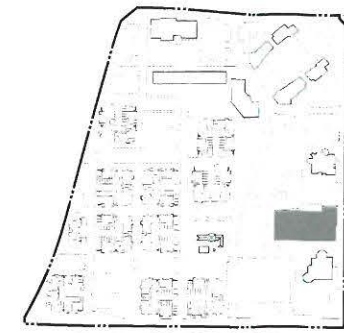
Figure 35B

Page 4-38



# Rancho Cucamonga Town Square

THIS EXHIBIT IS CONCEPTUAL AND PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. THE ACTUAL DESIGN OF THE BUILDING WILL BE DETERMINED DURING ARCHITECTURAL REVIEW BY THE CITY.



WEST  
(BUILDING D)



EAST  
(BUILDING D)

SOURCE: LANGDON WILSON ARCHITECTURE



CONCEPTUAL ARCHITECTURE - OFFICE (EAST & WEST)

Figure 35C

Page 4-39

## ***Rancho Cucamonga Town Square 4.0 Urban Design Guidelines***

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- **Building Character:** The office building is the largest building on-site and will serve as a visual counterpoint to the Barton Center office buildings and City Hall, which are located on the east side of Haven Avenue from the project site.
- **Roofs:** Roofs shall be predominantly flat.
- **Windows:** Windows shall be designed with spandrel and vision glass.
- **Doors and Entries:** Doors and entries shall be identified by overhangs, awnings or other architectural features.
- **Exterior Colors:** The overall project color palette will consist of earth-tones that will be compatible with the colors used on surrounding off-site buildings. These colors will be tied-in with colors used in the Barton Center office buildings and City Hall.
- **Exterior Building Materials:** Plaster walls with stone accents and roofs of standing seam metals which are typical of this architectural vernacular. The details should be restrained and simple to serve as a backdrop for the stone accents. The office buildings shall be constructed of non-flammable materials per City of Rancho Cucamonga and Uniform Building Code standards and other requirements.
- **Roof-Mounted & Ground-Mounted Equipment:** All roof-mounted and ground-mounted equipment shall be screened from all sides and shall be architecturally integrated with the building design. Examples of appropriate screening techniques are depicted in Figure 30, *Equipment Screening*.

### **4.3.3 Residential Architectural Design Guidelines**

RANCHO CUCAMONGA TOWN SQUARE proposes both traditional and non-traditional multi-family residential units to meet a variety of housing needs and desires. A complex of freestanding apartment buildings will consist of 334 units in three-story, walk-up buildings (see Figures 36A and 36B, *Town Square Apartments - Elevations*). The 32 loft units will be built over retail and support commercial space (see Figure 32A, *Conceptual Architecture - Mixed Use*). In addition, 19 live/work units and 29 apartments are planned in three separate buildings facing the retail and office portions of the project. The architectural details provided in Figure 33 apply to all apartment, mixed-use, and live/work structures. The details depicted in Figure 34, *Typical Store Fronts*, will apply only to mixed-use and live/work structures.

The following architectural design guidelines shall apply to all apartment types (both walk-up and loft apartments) within the RANCHO CUCAMONGA TOWN SQUARE project (see Figures 36A & 36B, *Town Square Apartments*):

- **Building Elevations:** Elevations shall borrow design elements from local agrarian structures and will feature:



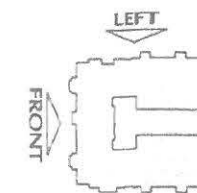
# Rancho Cucamonga Town Square



LEFT SIDE ELEVATION



FRONT ELEVATION



SOURCE: UNITED DOMINION REALTY TRUST



Figure 36A  
TOWN SQUARE APARTMENTS



# Rancho Cucamonga Town Square



RIGHT SIDE ELEVATION



REAR ELEVATION

SOURCE: UNITED DOMINION REALTY TRUST



- Metal roof elements, including roofs made of or simulating the appearance of corrugated metal.
- Plaster exterior walls with stone veneer detailing, especially the use of stone.
- Trellis elements arranged on a simple building mass.
- Roofs: Design the apartments with predominantly flat roofs with tower accents of hip concrete tile.
- Windows: Use windows with divided lights with foam trim accents.
- Doors and Entries: Front doors should be designed to maximize visibility by security and law enforcement personnel. In addition, doors and entries may be recessed to create a definite “sense of entry” and shield the entry from rain and wind.
- Railings: Where used, railings should be designed of smooth tubular steel.
- Awnings: Incorporate corrugated metal awnings with tubular steel frames into the apartment facades as appropriate.
- Trellises: Build trellises as accent pieces and incorporate them into the dwelling units at key locations. Trellises should be constructed of rough sawn wood.
- Exterior Colors: Use light colors and earth tones as a tie-in to the adjoining commercial mixed-use development.
- Exterior Building Materials: Plaster walls with stone detailing will be used. Rough sawn wood may be used as an accent. All residential buildings shall be constructed of non-flammable materials per City of Rancho Cucamonga and Uniform Building Code standards and requirements.
- Roof-Mounted & Ground-Mounted Equipment: All roof-mounted and ground-mounted equipment shall be screened from all sides and shall be architecturally integrated with the building design. Examples of appropriate screening techniques are depicted in Figure 30, *Equipment Screening*.

## 5.0 IMPLEMENTATION PLAN

### 5.1 PHASING PLAN

The RANCHO CUCAMONGA TOWN SQUARE project is intended to develop in four phases over an approximate four- to five-year period, as depicted in Figure 37, *Conceptual Phasing Plan* and Table 5-1, *Development Phasing*. The first phase is intended to commence in the Year 2001 and each subsequent phase is intended to commence in approximately one year increments thereafter. The timing and sequencing of construction phases is advisory only and non-binding because of changing market demand and other factors.

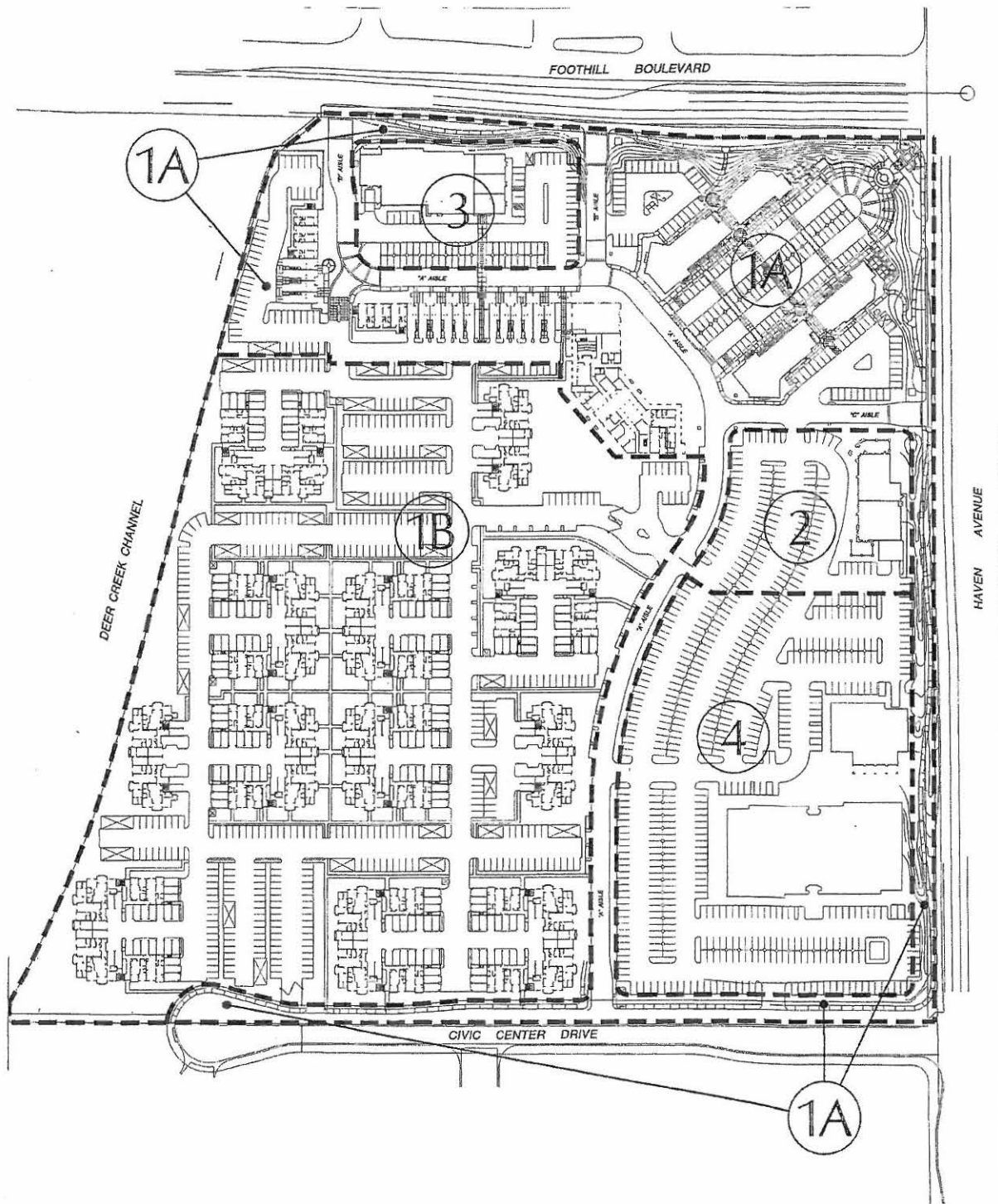
**Table 5-1**  
**DEVELOPMENT PHASING**

Phase	Use	Acres	Maximum D.U.'s	Square Footage
1	Retail	.48	--	20,500
	High Density Residential	17.81 <sup>1</sup>	348	--
	Apartments Over Retail	--	32	14,000 <sup>1</sup>
	Live/Work Building	--	34	5,700 <sup>1</sup>
	De Ambrogio Heritage Park	--	--	--
<b>Subtotal</b>		<b>16.88</b>	<b>414</b>	<b>40,200</b>
2	Commercial (Specialty Market & Retail)	0.48	--	13,700
<b>Subtotal</b>		<b>0.48</b>	<b>--</b>	<b>13,700</b>
3	Commercial (Restaurant)	0.47	--	8,400
<b>Subtotal</b>		<b>0.47</b>	<b>--</b>	<b>8,400</b>
4	Office (5-Story Building & Specialty Restaurant)	1.07	--	134,100
<b>Subtotal</b>		<b>1.07</b>	<b>--</b>	<b>134,100</b>
Other Land Uses	Total Paved Areas (Plazas/Private Aisles)	12.4	--	--
<b>Subtotal</b>		<b>12.4</b>	<b>--</b>	<b>--</b>
<b>PROJECT TOTAL</b>		<b>31.3</b>	<b>414</b>	<b>196,400</b>

<sup>1</sup> Square footage is for the retail portion of the building only.



# Rancho Cucamonga Town Square



SOURCE: BURNETT COMPANIES



Figure No. 37  
**CONCEPTUAL PHASING PLAN**

**5.2 DESIGN REVIEW**

As a part of the Planning Approval process, the application materials and development plans for this project have been reviewed by the City of Rancho Cucamonga Community Development Department. The project's overall design issues have been resolved and this Master Plan has been approved by the Planning Commission. All subsequent development applications for the RANCHO CUCAMONGA TOWN SQUARE will be processed through the City of Rancho Cucamonga's two-part development review process: (1) the Planning Approval process, and (2) the Plan Checking process, as appropriate. The Planning Approval process involves review of plans for zoning compliance and design review (see Section 17.06.010 in the City's Development Code). Plan Checking involves detailed technical review of construction documents, etc., in accordance with Building Codes, City Standards and Conditions of Approval.

Prior to issuance of grading and building permits, the project will be processed through Plan Checking, where a detailed technical review of the working drawings will occur. During this review process, the City will determine whether the drawings are in conformance with Building Codes and City Standards and Conditions of Approval.

Although this approved Master Plan identifies land uses and building footprints and locations, this plan allows the uses and buildings to be modified, changed, and relocated, provided that the proposed land uses and building footprints comply with the following criteria:

- A. The proposed land uses must be compatible with the intent of the Master Plan to create a true mixed-use development.
- B. The total building square footage for each proposed use (e.g., retail, office, restaurant, etc.) is the same as the original use, although the configurations, designs, and locations of the buildings may change.
- C. The required parking for the proposed uses must be accommodated on-site. A shared parking analysis may be required by the City Planner in order to demonstrate that a reduction in the amount of parking provided is justified.

**5.3 LAND USE PLAN ADJUSTMENTS**

- A. No more than 348 multi-family walk-up apartments, 32 mixed use apartments, 16 live/work units, and 18 one bedroom flats (connected to the 16 live/work units) may be constructed on the RANCHO CUCAMONGA TOWN SQUARE project site. Any increase in residential units in excess of 414 multi-family dwelling units shall require a Master Plan Amendment. If the increase in dwelling units results in densities exceeding 30 du/acre, then a General Plan Amendment, Development District Amendment, and Development Code Amendment will be required.
- B. No more than 125,000 square feet of office uses may be constructed on-site without a Master Plan Amendment.

- C. Retail and support commercial square footage may increase by up to 10 percent (up to a maximum of 7,000 additional square feet) without a Master Plan Amendment. Any increase is subject to the provision that a parking study be prepared to ensure that there will be adequate parking on-site to support the increase in retail and support commercial square footage.
  
- D. Proposed building sites and pads for office, retail, and support commercial buildings may change locations in response to adjustments in commercial uses, change in floor plans, architectural design, etc., provided that the integrity and pedestrian orientation of the Site Plan remains essentially intact. Any relocation or reconfiguration of retail and support commercial uses shall require approval of a minor development permit by the City Planner, provided that the total square footage not does increase by more than 10 percent and the requirements for off-street parking can be met on-site. The City Planner shall have the option to determine that the relocation or reconfiguration of uses substantially changes the Site Plan and merits approval of a Site Development Plan by the Planning Commission if one or both of the following conditions exist:
  - 1. The total building square footage of non-residential uses within the project site increases by more than 10%; and/or
  - 2. The relocation or alteration of buildings results in a ten (10) percent decrease or greater in the number of parking stalls provided on-site than the current approved Site Plan. In this instance, an updated Shared Parking Analysis shall be required by the City as well as a Site Development Plan.

#### **5.4 PLAN AMENDMENTS**

It is the intent of this section to define types of changes that will require an amendment to the RANCHO CUCAMONGA TOWN SQUARE Master Plan (see Subarea 7 and the Haven Avenue Overlay District standards contained in the Rancho Cucamonga Development Code). The City shall apply the procedures listed in Section 17.02.060 of the Development Code when considering an amendment to the Master Plan.

An amendment to this Master Plan shall be defined as a change in the Haven Avenue Overlay District regulations and boundaries. Additionally, the following changes shall require an amendment to this Master Plan:

- A. An increase in retail and commercial floor area coverage by more than 10% or 7,000 square feet, whichever is less;
- B. A significant change in the mix of uses; and
- C. An increase in the number of dwelling units in excess of 414 units.



However, the following changes shall *not* require an amendment to this Master Plan:

- A. Changes to the community infrastructure (drainage systems, roads, water and sewer systems), which do not have the effect of increasing or decreasing capacity in the project area beyond the specified density range;
- C. Increase in the backbone infrastructure construction or maintenance costs, and
- D. Minor relocation of office, retail, and support commercial buildings on-site in such a manner that the integrity and pedestrian orientation of the Site Plan remains intact.

## 6.0 GENERAL PLAN CONSISTENCY

The RANCHO CUCAMONGA TOWN SQUARE land use plan was prepared in accordance with all relevant goals, policies, and provisions of the City of Rancho Cucamonga General Plan. The City's General Plan consists of seven State-mandated elements and four optional elements. The following are pertinent goals and objectives specified under each of the ten elements of the General Plan, followed by a discussion of the Master Plan's consistency to the General Plan. Only those goals and objectives which apply to or have relevance to the project are discussed; all other non-relevant goals and policies have been omitted.

### 6.1 LAND USE GOALS AND OBJECTIVES

#### 6.1.1 Introduction

The following goals and objectives serve as the primary vehicle for ensuring the logical organization of residential, commercial, industrial, and public facilities and for encouraging the timely provision of public facilities to meet the needs of the community.

#### 6.1.2 Goals

*Land use shall be managed with respect to location, timing and density/intensity of development in order to be consistent with the capabilities of the development and special districts to provide services, to create communities where a diverse population may realize common goals, and to achieve sustainable use of environmental resources both within and outside of the city.*

#### 6.1.3 Objectives

- Create opportunities wherein a population diverse in terms of income, age, interests, occupation, race, lifestyles, values, interests, and religion may interact, exchange ideas, and realize common goals.
- Permit development only when consistent with the availability and adequacy of public services and facilities.
- Permit development at a rate which enables the integration of new residents and new structures into the existing social and physical fabric of the city.
- Promote land use patterns which make sustainable use of the land, plant and animal, water, energy, and air resources available to the City both within and outside its boundaries.
- Encourage opportunities to mix different but compatible, land uses and activities.
- Provide commercial facilities to meet the retail and service needs of the community and, where feasible, such facilities should be conveniently accessible by bicycle and by foot, as well as by automobile.
- Organize land uses to avoid creating nuisances among adjacent land uses.
- Provide recreational and cultural opportunities to meet the needs of the community.

## Rancho Cucamonga Town Square 6.0 General Plan Consistency

- Use open spaces to create a visually pleasing environment, as well as to distinguish City and neighborhood boundaries.
- Promote land use patterns that promote non-motorized modes of transportation.
- Assure that land uses in areas with valuable natural resources do not adversely affect those resources.

### **6.1.4 Project Consistency**

RANCHO CUCAMONGA TOWN SQUARE Master Plan will establish a new mixed-use development focused on providing a mix of residential, commercial/retail, office and open space. The development will meet the needs of project residents, as well as the workers in the offices and businesses located in the TOWN SQUARE. At build out, the project area will provide approximately 31.3 acres of mixed-use development including:

- An office complex (2.49-acre);
- High density apartments, mixed-use development (loft apartments over retail), live/work units with traditional apartments, and a central heritage plaza (17.81 acres total);
- Two restaurants (0.85-acre);
- A specialty market/retail (1.20-acre);
- Retail stores (2.30-acre); and
- Paved areas (6.75 -acres), which will include several small plazas.

These facilities will conform to the City's goal of creating a sense of community between users of all age groups, races and income levels.

All facilities on site are designed with foot travel in mind. Greenbelts and open space encourage walking and will make the walks more enjoyable. Connections to the Deer Creek Regional Multi-System Trail further enhance walking and increase the areas for people to congregate and socialize. Existing housing, county facilities, businesses and three remaining vacant sites surround the project site. The community is designed to help meet the needs of these surrounding communities and people working in local business parks. The retail plaza will serve the office complexes across Foothill Boulevard, the nearby Terra Vista Town Center, Barton Plaza, San Bernardino County Court House, and City Hall. The project will complement the surrounding areas and provide users of those areas a new outlet for recreation and interaction.



## **6.2 CIRCULATION GOALS AND OBJECTIVES**

### **6.2.1 Introduction**

The following goals and objectives encourage the development of alternative transportation uses. They also provide for a sufficient transportation network and management program, while allowing for safe and efficient movement of goods and people.

### **6.2.2 Goals**

*The organization of land uses within the City shall provide for the efficient use of the private automobile, where concurrently supporting the ultimate provision of alternative modes of transportation at both the City and regional levels.*

### **6.2.3 Objectives**

- Organize land uses to promote maximum opportunity for development of ride sharing, transit, and other alternative forms of transportation.
- Accommodate new growth in areas which can readily be served by public transit and which are within convenient walking distance of major and commercial facilities.
- Provide local transit service for that portion of the population with limited or no access to the automobile to increase their mobility.
- Develop a transportation management and development monitoring program to insure effective implementation of plans to achieve a 10 percent reduction in vehicle trips citywide with a 25 percent reduction of peak hour industrial-based trips.
- Reduce the need for long commutes by encouraging the provision of housing for up to 30 percent of the industrial employment base.

### **6.2.4 Project Consistency**

One of the goals of the City of Rancho Cucamonga is to maximize the use of alternative transportation. It is a goal of the City to reduce automobile traffic as much as possible. RANCHO CUCAMONGA TOWN SQUARE is designed with this goal specifically in mind. The close proximity of the residential units, mall, specialty market, offices and restaurants lend themselves to this end. Paths and green belts have been designed to make accessing local establishments for residents and visitors alike very easy and convenient. The proximity of office and other retail establishments to the local housing will encourage people to live near their places of business. The design of this community makes the goal of a 30-percent reduction in the amount of long commutes for the local work force easily obtainable. To further reach this goal, on-site apartments will provide a close-to-work housing option for the local work force. This residential feature will enable shop owners or employees to live in close proximity to their business or place of employment.

## Rancho Cucamonga Town Square 6.0 General Plan Consistency

The RANCHO CUCAMONGA TOWN SQUARE development is located on the corner of Foothill Boulevard and Haven Avenue, where bus service is provided by the City of Rancho Cucamonga on both sides of the streets. In addition, the proposed project will provide a recessed bus stop on the west side of Haven Avenue. The bus service will enable those people who are not able to drive, those who do not wish to drive, or who do not have access to automobiles or convenient public transportation.

### **6.3 HOUSING GOALS AND OBJECTIVES**

#### **6.3.1 Introduction**

The housing goals and objectives are intended to provide residents of the community and local government officials with guidance to the decision-making process in all matters relating to housing. The following goals and objectives are consistent with the other ten elements of the General Plan.

#### **6.3.2 Goals**

*The City shall provide opportunities and incentives for the provision of a variety of housing types for all economic segments wishing to reside in the community regardless of race, religion, sex or income group.*

#### **6.3.3 Objectives**

- Conserve and improve the existing housing stock, including structures of historic significance, and eliminate the causes and spread of blight by encouraging the investment of public and private funds in the housing rehabilitation and public improvements.
- Allow and create new opportunities which enable a broad range of housing types, maintain a balanced supply of ownership and rental units and provide sufficient numbers of dwelling units to accommodate expected new household formations.
- Provide sufficient opportunities so that it is desirable for 30 percent of the projected commercial and industrial employed households in the City to live and work in the City.
- Provide housing opportunities which meet the needs of all economic segments of the community including very low, low and moderate income households and special needs groups.
- Require energy efficiency in all residential developments.

#### **6.3.4 Project Consistency**

The RANCHO CUCAMONGA TOWN SQUARE development will provide multi-family housing opportunities for up to 414 households. There will be 348 three-story walk-up apartments, 32 apartments in the mixed use building, 16 live/work units, and another 18 one bedroom flats located on the ends of the live/work building. The live/work apartments will offer a convenient alternative to business owners that want to live over or close to their place of business. The live/work apartments will rent at current market rates. All units will be designed to be energy efficient and built to local and state building codes.

## **6.4 RECREATION GOALS AND OBJECTIVES**

### **6.4.1 Introduction**

The recreation goals and objectives provided in section 6.4.2 and objectives in section 6.4.3 guide the City's policies and decisions in providing parks and recreational facilities for the community. The resulting General Plan policies ensure that parkland is provided for the existing developed portions of the City as well as those areas subject to future development.

### **6.4.2 Goals**

*Recreational facilities shall be provided to meet the needs of all segments of the community for recreational activities, relaxation, and social interaction.*

### **6.4.3 Objectives**

- Provide park and recreation facilities at a level which reflects the high priority assigned to these facilities by the City residents.
- Design park and recreational facilities to serve the recreational and cultural needs of the community with respect to age, socioeconomic conditions, physical abilities, and limitations.
- Locate parks and recreational facilities within the City in a manner which develops a sense of community scale and fosters orderly development.
- Provide an interconnected system of recreational pedestrian, equestrian, and bicycle trails which provides means of access to regional, city and neighborhood parks and recreational facilities other than by automobiles; provides a recreational experience apart from that available at these parks and facilities; and is linked to similar trails provided by the County and adjacent cities.

### **6.4.4 Project Consistency**

The RANCHO CUCAMONGA TOWN SQUARE will provide for De Ambrogio Heritage Plaza in the center of the Master Plan project site. It is conveniently located adjacent to the on-site residential and commercial uses. As part of the plaza's amenities, a small vineyard will be recreated with the cuttings from the existing vineyard, which will be propagated and maintained on-site to complement the heritage theme of the plaza. In addition, historical winery-related artifacts will be displayed for public information to honor and memorialize the family history and heritage of the project site. The De Ambrogio Heritage Plaza will provide recreational benefits to the on-site residents and outdoor eating areas for employees working at the various businesses on- and off-site.

In addition, the proposed project would be surrounded on the northern and eastern boundaries by an expansive linear parkway featuring meandering walkways, rolling-contoured turf areas, masses of colorful shrubs, and ground covers. The streetscape tree species will closely adhere to City standards and guidelines to reinforce and continue the master-planned community theme. The regional trail system will flow through this corner to provide continuous pedestrian traffic opportunities. Enhanced paving,



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benches, a "Town Center" pylon/monument, groves of date palms, flowering and shade trees, and a fountain with spillways flanked by two dramatic staircases will be provided as amenities at this corner.

The project plazas, parkways, and pedestrian paths will serve the recreational needs of the community, foster an orderly development, and interconnect with the various on- and off-site pedestrian and bicycle paths.

### **6.5 PUBLIC FACILITIES GOALS**

#### **6.5.1 Introduction**

The following public facilities goals and objectives provide community services, such as schools, a civic center, fire protection, libraries, liquid and solid waste facilities, and cultural activities that meet the needs of the residents of Rancho Cucamonga.

#### **6.5.2 Goals**

*Community services shall be provided to meet the needs for education, cultural entertainment, protection of public safety and health and civic pride.*

- Develop a civic center that provides a complete range of public services and symbolizes the unique identity of the City as perceived by its residents.
- Work toward close cooperation with the school districts for a learning environment that is capable of meeting the educational and recreational needs of the City's school-aged population and that encourages a diversity of experiences.
- Set aside sufficient natural and historic areas for purposes of teaching environmental and historic values, and provide equipment and facilities to support these programs.
- Work for close cooperation with the County and other responsible agencies, including Chino Basin Municipal Water District and Cucamonga County Water District, to plan facilities which are adequate for the disposal of solid, liquid and hazardous wastes.
- Cooperate with the County on plans, policies, and programs to manage solid wastes and hazardous wastes.

#### **6.5.3 Project Consistency**

RANCHO CUCAMONGA TOWN SQUARE will provide a variety of public facilities and services. As discussed above, the TOWN SQUARE provides recreation and shopping facilities to meet the needs of residents and people living and working nearby. The development was specifically designed to attract these patrons and its unique planning and design should reflect the identity of its users and the City. In the center of the community, there will be the De Ambrogio Heritage Plaza. As part of the plaza's amenities, a small vineyard would be recreated with the cuttings from the existing vineyard, which would be propagated and maintained on-site to complement the surrounding landscape theme. In addition, historical winery-

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related artifacts will be displayed for public information to honor and memorialize the family history and heritage of the project site.

To maintain the integrity of the community, the Master Plan will require collaboration between the developer, the City of Rancho Cucamonga, the County of San Bernardino, and the Chino Basin Municipal Water District. The developer will work closely with the City and the County to maintain a high standard of water quality and waste management. Pursuant to city and county health codes, all wastes generated on-site will be stored in appropriate containers, in designated locations, collected on a regular schedule, and transported to a suitable dumping site. This will help ensure that the mixed-use development remains clean and safe; thus, providing for a desirable place to live and work.

### **6.6 COMMUNITY DESIGN GOALS AND OBJECTIVES**

#### **6.6.1 Introduction**

Community design is the expression of the community's goals in their physical form. The resources and components of community design include the natural environment and building environment. The following goals and objectives ensure that the various community design components contribute to the overall image, appearance and function of the community.

#### **6.6.2 Primary Goal**

*The natural and manmade environment of Rancho Cucamonga shall be designed and coordinated to establish the identity of the City as a single entity, while also preserving the individual character of the three existing communities; to improve the image and appearance, and to promote the functional efficiency of the City.*

#### **6.6.3 Overall Design Goals**

- Preserve and develop elements of the City's built form which provides a sense of its origins and history.
- Develop elements of built form and landscape in a manner that is harmonious with and that respects the physical context.

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- Integrate elements of the physical context into the City visually; in particular, provide an open space network that relates to the natural context.
- Provide or retain a hierarchy of social gathering places extending from the neighborhood to the city-wide scale.
- Provide diverse residential environments.
- Maintain and provide accessible public facilities and community-oriented service and commercial centers.
- Provide a diversity of housing types and opportunities.
- Use the physical form of development, roadways and open spaces to express community character.
- Provide views of the mountains and valleys to enhance their role as a reference point.
- Retain and reinforce existing distinction among districts and neighborhoods and design such distinctions into districts and neighborhoods.
- Meet high aesthetic and functional standards that complement the physical and social character of the communities they serve.
- Avoid development patterns and transportation programs which increase traffic in residential areas and non-residential areas where a pedestrian oriented environment is desirable.
- Provide streets and parking stalls that are both functional and attractive.
- Reduce visual eyesores including those resulting from inadequate public and private maintenance.
- Provide opportunities for maximum individual and family privacy.
- Provide innovative design solutions to improve quality of community identity.
- Future development and public improvements should relate to users at a pedestrian as well as automotive scale, occur at scales compatible with the existing scale of established neighborhoods, and occur at scales sensitive to adjacent areas.

### **6.6.4 Objectives**

- Use the relationship between built form and natural landscapes to strengthen the image and identity of the City.
- Provide for harmonious transitions between the built form and the natural environment.



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- Protect and enhance land forms of citywide significance.
- Maintain and re-establish where feasible natural vegetative communities and dominant landscape elements unique to the City.
- Establish a hierarchy of roadways, based on the functional role or roles of the routes.
- Establish appropriate design requirements to enable each route to be more readily perceived by its users.
- Distinguish major roadway intersections that serve as the motorist's decision point and key orientation point from other segments.
- Design a public transit network to shape the future organization and form of the City; to minimize reliance on the automobile and, consequently, on energy used for transportation; and to minimize paved areas in order to reduce the impact of floods and the use of energy for road construction and maintenance.
- Promote the appropriate use of plant materials to stimulate a natural integration of structures into the landscape.
- Encourage water-conserving landscapes.
- Promote the appropriate use of plant materials to simulate a natural integration of structures into the landscape.
- Encourage water-conserving landscapes.
- Develop City-wide street landscaping and tree planting guidelines and standards for use by the City, private developers, and property owners.
- Establish an annual and long-term landscape maintenance program to ensure the health and aesthetic quality of plant materials
- Develop criteria for appropriate planting design guidelines.
- Develop and enhance the distinctiveness of existing and new residential neighborhoods and commercial and industrial districts.
- Facilitate social interaction between residents, visitors, and workers.
- Preserve and enhance the special heritage features of city-wide significance as landmarks and focal points.
- Protect and improve the scenic quality of the City.

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- Provide a diversity of physical forms, such as, residential, business and retail, linked to one another by a variety of transportation modes and organized to reinforce the overall form of the City.
- Provide urban centers which develop “a sense of place” at concentrations of business and commercial activities.
- Design buildings to maximize social goals and to minimize adverse environmental impacts and resource consumption.
- Make the City attractive to residents, visitors, and commercial, industrial, and professional businesses while maintaining economic stability through an attractive signing program.

### 6.6.5 Project Consistency

The RANCHO CUCAMONGA TOWN SQUARE project is unique and significant for three reasons: (1) the project’s cultural program, (2) the site’s location within the overall Town Center area, and (3) the richness of the mixed-use program. In designing the project, a concerted effort has been made to ensure that it would integrate into the existing fabric of the surrounding areas and the City as a whole.

As part of the project entitlements, a Master Plan document has been prepared that includes design guidelines and development standards. The document contains architectural, landscaping, and site planning design guidelines, as well as special mixed-use development standards. These guidelines and standards have been specifically created to ensure that the project site develops as a “showcase” of mixed-use development within Rancho Cucamonga. In addition to extensive plazas, walkways and paseos, the project includes water features and substantial landscaping along Foothill Boulevard and Haven Avenue.

The architectural character of the project reflects the early agrarian structures found throughout the Rancho Cucamonga area. The buildings are pedestrian in scale and incorporate a rich palette of materials. Walkways and patios are shaded by building roof overhangs, arcades, and arbors. Each building type has slight variations in the fenestration as required by the use. The overall project color palette will consist of earth-toned plaster with stone accents and roofs of standing seam metals or clay tile typical of this architectural vernacular. The details are restrained and simple to serve as a backdrop for the stone accents and retail entries.

Much of the commercial and office uses have been designed to orient towards Haven Avenue and the Foothill Boulevard/Haven Avenue intersection. The residential uses have been sited away from the major streets for sound and privacy reasons and to reflect the existing multi-family housing that exists south of Civic Center Drive. The sequencing of the public spaces and the pedestrian flow across the site has been developed to integrate with the adjacent properties. The project is organized around a series of open spaces, which are interlinked and connect to the off-site pedestrian network. The project focal point, De Ambrogio Heritage Plaza, will incorporate grape vines to reflect the sites origins and history. The plaza will also include shaded outdoor spaces and is designed to maximize protection against the strong Santa Ana winds.

The project program has been developed to minimize parking areas by providing for staggered demand from various uses. For example, the office parking demand is highest during the day and reduces in the

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evening as the retail and restaurant demand increases. An additional benefit is the reduction of local traffic when complementary uses are co-located.

### **6.7 NATURAL RESOURCES/OPEN SPACE GOALS AND OBJECTIVES**

#### **6.7.1 Introduction**

The following goals and objectives are aimed at ensuring that the development of the City does not destroy or interfere with the intrinsic value of natural resources (land, water, plants, and animals) and open space. At the same time, these goals and objectives provide access to areas of educational scientific interest and encourage the City to manage its resources using sound conservation principles.

#### **6.7.2 Goals**

*The community's natural resources shall be respected, and protection and preservation of those resources, including open spaces, shall be encouraged.*

#### **6.7.3 Objectives**

- Establish proper soil management techniques to reduce the adverse effects of erosion
- Prevent premature elimination of prime agricultural land whenever feasible
- Retain the natural drainage of the area as much as possible.
- Protect areas capable of replenishing groundwater supplies.
- Encourage and promote programs to conserve water such as use of drought-tolerant plants and efficient irrigation methods.
- Protect waterways from indiscriminate erosion and pollution.
- Promote a well-designed, continuous system of open spaces to preserve the qualities of openness and to define the City boundaries and the identity of neighborhoods and districts.
- Develop a continuous system of open spaces to facilitate provision of an integrated recreational system.
- Maintain open spaces to preserve lands with natural resources and scenic values.



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### 6.7.4 Project Consistency

The RANCHO CUCAMONGA TOWN SQUARE project site has been operated as a vineyard for over 100 years. Vineyards are no longer a viable market in the Rancho Cucamonga area; therefore, the site will be redeveloped for mixed uses. Although the site is designated as "Prime Agricultural Lands" by the State of California, the vineyard is not irrigated and, as such, does not meet the state's criteria for "Prime Agricultural Lands." The vineyard has played out its productivity and redevelopment of the site would not result in the loss of a prime agricultural land.

The development of the mixed-uses would not require off-site impacts to the Deer Creek channel, thus, leaving the drainage channel intact. The entire project site would be paved and landscaped; thus, eliminating impacts due to soil erosion. Although storm water drainage would be conveyed to existing storm drains that outlet into the Deer Creek channel, the mixed use development would be required to obtain a National Pollutant Discharge Elimination System permit from the Regional Water Quality Control Board that would require the development to incorporate best management practices that eliminate or reduce the potential for non-storm water discharges into the creek. In addition, the efficient irrigation methods will be incorporated in the landscaping plans for the on-site development. The project will provide for connections to reclaimed water, if available to the project site at the time of construction.

As discussed in Section 6.4, the mixed-use development will provide a center plaza, in which a small vineyard would be recreated with cuttings from the existing vineyard and displayed along with various historical winery-related artifacts to provide an educational experience for visitors. This plaza will be accessed by the pedestrian trails that surround and traverse the site. All of which would connect with one another to provide a continuous system of open spaces.

Accordingly, the development would be consistent with a majority of the City's goals for natural resources and open space.

## 6.8 ENERGY GOALS AND OBJECTIVES

### 6.8.1 Introduction

The following goals and objectives promote energy conservation in the transportation of people and goods. In addition, the City has committed itself to become less dependent on imported, non-renewable energy resources, and become more dependent on domestic renewable energy sources, such as, solar and wind energy and recycled municipal solid wastes.

### 6.8.2 Goals

*The City shall commit itself to an energy efficient future by replacing total dependence on imported, nonrenewable energy resources with reliance on renewable energy resources within the City.*

### 6.8.3 Objectives

Encourage more efficient use of energy resources.

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### 6.8.4 Project Consistency

Building standards for energy conservation outlined in Title 24 of the California Administrative Code are required for all new residential and commercial construction. Accordingly, the mixed-use development will incorporate energy-saving devices as required by law. These devices may include the following: use of individual meters versus multiple meters, installation of lighting switches and multi-switch provisions for control by occupants and building personnel, use of time-controlled interior and exterior public lighting (limited to that necessary for the safety of persons and property), and use of energy efficient major appliances.

### 6.9 HAZARDS GOALS AND OBJECTIVES

#### 6.9.1 Introduction

The following goals and objectives contain provisions that relate to the protection of life, health and property from natural and human-created hazards. They also identify areas where private and public decisions on land use need to be sensitive to hazardous conditions caused by slope instability, seismic activity, flood, fire, noise, and wind.

#### 6.9.2 Goals

*The health and well-being of the community and the physical safety of its structures shall be safeguarded.*

#### 6.9.3 Objectives

- Restrict Development from areas with unsafe soil conditions.
- Require geologic or soil engineering investigation for developments proposed in special geologic study areas.
- Require special construction features in the design of structures where site investigations confirm potential geologic hazards.
- Apply a minimum level of acceptable risk to structures and use of land in seismically hazardous areas based upon the nature of use, importance of the use to public safety and welfare, and intensity of use.
- Restrict the location of critical structures and facilities from geologically hazardous areas, unless no alternative is available.
- Require special construction features in the design of structures where site investigations confirm potential seismic hazards.
- Develop and adopt a Master Plan storm drains and flood control for City of Rancho Cucamonga

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- Apply a minimum level of acceptable risk to structures and uses of land, commensurate with the potential for flood damage. Require special construction features in the design of structures located within flood hazard areas.
- Design projects to reduce the amount of runoff and encourage the on-site retention of storm water.
- Require adequate water supply and pressure for all proposed development in accordance with Foothill Fire District standards.
- Require land management programs to prevent fuel buildup and to allow access by fire-fighting services.
- Establish minimum standards for fire safety throughout the City, especially in the designated high fire hazard areas.
- Assure that noise levels in noisy areas do not rise above levels compatible with the land use in those areas.
- Prevent the escalation of noise levels in areas where noise-sensitive uses are located.
- Encourage creative solutions when potential conflicts between levels and land use arise.
- Give attention to architectural layout of developments to noise sensitive spaces.
- Develop programs to reduce community noise levels to "normal acceptable" levels where possible.

### **6.9.4 Project Consistency**

The developer is aware of all of the restrictions and cautions that must be taken due to soil type on site. Before development begins the developer will take all precautions and meet all permit and soil evaluations if he/she has not done so already.

The developer is aware of, or will make him/her aware, of the factors of seismicity in the area in and surrounding the development. The developer will build all structures with the seismicity of the area in mind and will take all precautions required by code or deemed necessary by the civil engineers.

The developer is aware of the dangers of flooding and will or has taken the appropriate action. All necessary precautions and structures will be built, reinforced, or added to the structures to ensure the safety of the community in the case of severe flooding. The developer is also aware of all the regulations pertaining to these flood resistant structures, the rules and regulations regarding those structures, their placement, location and construction. At the time of build out all these criteria will be met.

The developer is aware of all fire codes and regulation pertaining to the construction and final product of this development. All regulations pertaining to fire safety will be met. All streets will conform with requirements (*i.e.*, no street greater than 12 percent grade, and any cul-de-sac streets will not exceed 600



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in length feet and they will provide a turn-around right of way no less than 90 feet in diameter). All these regulation will be observed as well as requirements pertaining to fire hydrant placement and fire sprinkler type and location. The developer is prepared to work with City, County, and Fire officials to ensure that all these regulations are met in order to ensure the safety of residents and visitors to the community.

The developer is aware of the noise ordinances and all buildings, designed by the planner, conform to these criteria. The developer will also observe requirements for noise abatement structures, i.e., berms, tree lines, open space, walls and multi-story buildings that are not noise sensitive. The developer is prepared to work with City and County officials to ensure that all noise abatement measures are meet and/or exceeded.

### **6.10 AIR QUALITY GOALS AND OBJECTIVES**

#### **6.10.1 Introduction**

The following goals and objectives are based on the San Bernardino County Regional Air Quality Element, and have been adopted in the General Plan to reflect and meet the City's need to achieve air quality improvements in such a way that continued economic growth can be sustained. In addition, they achieve necessary air quality-related life style and economic changes through market incentives where feasible and through regulatory measures where necessary.

#### **6.10.2 Goals**

- A pattern of land uses which can be efficiently served by a diversified transportation system and land development projects which directly and indirectly generate the minimum feasible air pollutants.
- The minimum practicable particulate emissions from the construction and operation of roads and buildings.
- Reduced emissions through reduced energy consumption.

#### **6.10.3 Project Consistency**

The proximity of office and other retail establishments to the local housing will encourage people to live near their places of business. The proposed project will provide for alternative modes of transportation to the site including on-site pedestrian and bicycle paths that connect with the surrounding off-site paths within the City. In addition the project will provide housing on-site for potential employees and business owners. This mixed-use and live/work buildings, as well as the freestanding apartment units, will enable shop owners or employees to live in close proximity to their business or place of employment.

The TOWN SQUARE development is located on the corner of Foothill Boulevard and Haven Avenue, where bus service is provided by the City of Rancho Cucamonga on both sides of the streets. In addition, the proposed project will provide a recessed bus stop on the west side of Haven Avenue. The bus service will enable those people who are not able to drive, those who do not wish to drive, or people who do not have access to automobiles, the convenience of public transportation.

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The proposed project will be required to obtain all construction- and operation-related permits from the South Coast Air Quality Management District (SCAQMD). Those permits will require the developer to implement best management practices that control the amount of emissions that may be generated during both construction- and operational-related activities of the RANCHO CUCAMONGA TOWN SQUARE.

Accordingly, the project will generate the minimum amount of pollutants feasible by providing for alternative modes of transportation to the site and adhering to the SCAQMD's permit requirements.

### **6.11 CRIME PREVENTION, EMERGENCY SERVICES AND MISCELLANEOUS HAZARDS GOALS**

#### **6.11.1 Introduction**

The following goals and objectives guide the City's decisions on the provision of adequate crime prevention services, efficient, integrated system of emergency health care, and to minimize risks to public health and safety associated with Santa Ana wind conditions.

#### **6.11.2 Goals**

- Provide members of the community with a sense of security.
- Encourage the design of developments that reduce the opportunities for crime to occur.
- Coordinate with County and neighboring communities in developing a regional system to respond to emergencies.
- Support efforts to disseminate information on potential hazards associated with Santa Ana winds.

#### **6.11.3 Project Consistency**

The RANCHO CUCAMONGA TOWN SQUARE will be developed with appropriate building materials which can withstand Santa Ana winds. The developer will ensure that all people working in the vicinity of the project is aware of hazards, understand emergency procedures and know the location of the nearest medical facility. In addition, 24-hour security will be provided on-site to discourage criminal activity.