



# VICTORIA ARBORS Master Plan Rancho Cucamonga, CA

January 18, 2002

Amended May 14th, 2003

## CITY OF RANCHO CUCAMONGA

Mayor: William J. Alexander  
Councilman: Paul Biane  
Councilman: James Curatalo  
Councilman: Bob Dutton  
Councilman: Dianne Williams

### PLANNING COMMISSION:

Chairman: Larry McNeil  
Commissioner: Rich Macias  
Commissioner: John Mannerino  
Commissioner: Pam Stewart  
Commissioner: Peter Tolstoy

City Manager: Jack Lam  
City Planner: Brad Buller  
City Engineer: William Joe O'Neil  
Senior Planner: Nancy Fong  
Sr. Civil Eng.: Dan James

## PDS WEST

**Land Planners  
Primary Authors**

Robert Lacoss  
31271 Paseo Sereno  
San Juan Capistrano, CA 92675  
(949) 489-3181

### *Consultants:*

**SR Consultants  
Engineers**  
Bill McKenzie  
(626) 683-0430

**Robert Mitchell  
and Associates  
Landscape Architects**  
Carol MacDonald  
(949) 581-2112



# TABLE OF CONTENTS

---

## CHAPTER 1 - INTRODUCTION

- A. Setting ..... 1-1
- B. Purpose ..... 1-2
- C. Guideline Goals and Objectives ..... 1-4

## CHAPTER 2 - COMMUNITY STRUCTURE AND DESIGN CONCEPTS

- A. Design Concepts ..... 2-1
- B. Victoria Arbors Plan ..... 2-1

## CHAPTER 3 - LAND USE

- Introduction ..... 3-1
- I. LAND USE SUBCATEGORIES ..... 3.3
  - A. Mixed Use Single Family Residential ..... 3-3
  - B. Mixed Use Multi Family Residential ..... 3-5
  - C. Mixed Use Commercial ..... 3-7
  - D. Mixed Use Community Facilities ..... 3-11
- II. ALTERNATIVE LAND USE AREAS ..... 3-13

## CHAPTER 4 - COMMUNITY LANDSCAPE GUIDELINES

- A. Conceptual Landscape Plan ..... 4-1
- B. Major Residential Entries/Intersections ..... 4-1
- C. Streets and Roads ..... 4-7
- D. Plant Palettes ..... 4-11
- E. Street Names ..... 4-14

## CHAPTER 5 - COMMUNITY RECREATION AND OPEN SPACE

- A. School and Park Land ..... 5-1
- B. Pedestrian Greenways, Paseos and Trails ..... 5-2
- C. Buffers ..... 5-5

## CHAPTER 6 - SITE PLANNING GUIDELINES

- A. Residential Streetscapes ..... 6-1
- B. Parking, Drive and Garage Alternatives ..... 6-3





## CHAPTER 7 - ARCHITECTURAL GUIDELINES

### I. RESIDENTIAL ARCHITECTURE

A. Size and Massing . . . . .	7-1
B. Character and Style . . . . .	7-2
C. Porches . . . . .	7-7
D. Trellises & Arbors . . . . .	7-9
E. Balconies and Window Treatment . . . . .	7-10
F. Roofing . . . . .	7-10
G. Fences and Walls . . . . .	7-12

### II. VILLAGE COMMERCIAL WINERY ARCHITECTURE . . . . . 7-16

A. Size and Massing . . . . .	7-17
B. Character and Style . . . . .	7-17
C. Pedestrian Open Space . . . . .	7-18

### III. MIXED USE COMMERCIAL . . . . . 7-19

### IV. PUBLIC AND COMMUNITY FACILITIES . . . . . 7-20

## APPENDIX

### A. Resolutions



## LIST OF EXHIBITS

<i>Exhibit No.</i>	<i>Exhibit Name</i>	<i>Page No.</i>
Exhibit 1	Interrelated Community of Villages	1-2
Exhibit 2	Victoria Linear Park	1-3
Exhibit 3	Park Illustrative Plan	1-7
Exhibit 4	Victoria Arbors Master Plan	2-2
Exhibit 5	Community Structure Diagram	2-3
Exhibit 6	Arbor Lane Photo Montage	2-5
Exhibit 7	Community Entry at Commercial Use	4-2
Exhibit 8	Conceptual Landscape Plan	4-3
Exhibit 9	Community Entry at Residential Use Plan	4-4
Exhibit 10	Special Community Entry	4-5
Exhibit 11	Regional City Gateway Plan	4-6
Exhibit 12	Day Creek Boulevard - Typical Landscape Plan	4-7
Exhibit 13	Base Line Road - Typical Landscape Plan	4-8
Exhibit 14	Church Street - Typical Landscape Plan	4-9
Exhibit 15	Etiwanda Avenue - Typical Landscape Plan	4-10
Exhibit 16	Community Trails Plan	5-2
Exhibit 17	Walking Distance Radii Plan	5-4
Exhibit 18	Buffer at Winery Property	5-5
Exhibit 19	Typical Section Through Paseo (Greenway)	5-6
Exhibit 20	Enlarged Area of Paseo (Greenway)	5-7
Exhibit 21	School/Park Illustrative Plan	5-8
Exhibit 22	Park and Trails Plan	5-9
Exhibit 23	Arbor Lane Illustrative Plan	5-10
Exhibit 24	Blow-up of Arbor Lane Illustrative Plan	5-11
Exhibit 25	Arbor Lane Photo Montage	5-12
Exhibit 26	Arbor Lane Pavilion - Looking Northwest	5-13
Exhibit 27	Paseo (Greenway) Between Arbor Lane Terminus and Winery Entry	5-14
Exhibit 28	Typical Residential Street Plan	6-1
Exhibit 29	Typical Residential Street Section	6-2
Exhibit 30	Alternative 1 - Side-in on corner lot Diagram	6-3
Exhibit 31	Alternative 2 - Push-back Detached Garage Diagram	6-3
Exhibit 32	Alternative 3 - Side-in Garage	6-4
Exhibit 33	Alternative 4 - Push-back attached Garage	6-4
Exhibit 34	Alternative 5 - Combined Detached Garages pushed to Back Prop. Line	6-5
Exhibit 35	Alternative 6 - Side Alley Access	6-6
Exhibit 36	Example of Driveway/Garage Alternatives	6-7
Exhibit 37	Example of House with Wrap-Around Porch	6-8
Exhibit 38	Victoria Arbors Theme Wall	7-12
Exhibit 39	Day Creek Boulevard Theme Wall	7-13
Exhibit 40	Victoria Theme Wall	7-15
Exhibit 41	Photo-Montage of South Winery Entry	7-19
Exhibit 42	Park Restroom Photo-Montage	7-21
Exhibit 43	Park Shade Structure Photo Montage	7-22
Exhibit 44	Arbor Section	7-23
Exhibit 45	Arbor Plan	7-23
Exhibit 46	Etiwanda Illustrative Lotting Plan	7-24
Exhibit 47	Open Space Illustrative Plan	7-25

## LIST OF TABLES

Table 1	Residential Setbacks and Development Standards	3-4
---------	--	-----



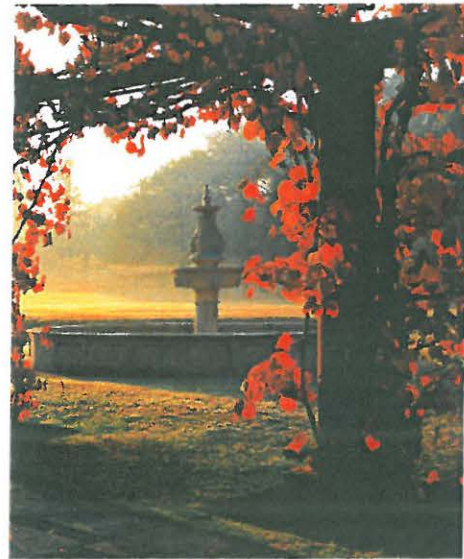
## INTRODUCTION

## A. SETTING

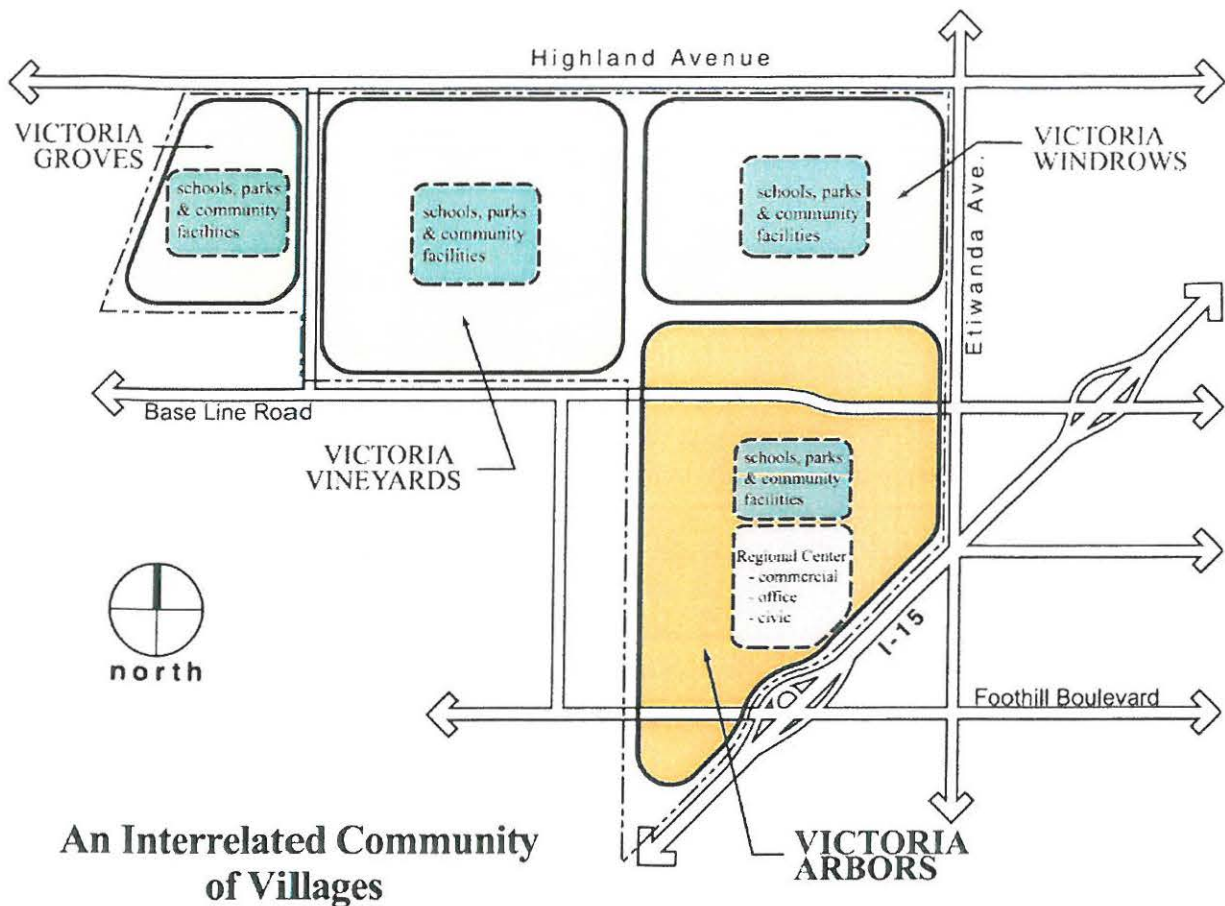
The Village of Victoria Arbors is a very special place in Rancho Cucamonga. It will include a regional commercial center as well as residential neighborhoods. This center will become the City's "downtown," - the commercial heart of the City. Victoria Park Lane, the unique "road within a park" containing bicycle and hiking trails, that connects all of Victoria, culminates in Victoria Arbors. The historic Elena (now Filippi) Winery is located here. It is important that all parts of this Village, including residential neighborhoods, reflect an overall design theme and project the unique identity of Victoria Arbors.

To accomplish this goal, Victoria Arbors is planned as a unique, multi-use community with an overall design theme of "Wine Country." It will have a comprehensive trail and open space system that connects residential neighborhoods to a central school-park, its historic winery and a regional center with a town square and village green.

Victoria Arbors is the remaining village of the Victoria Community Plan. The other three villages, Victoria Groves, Victoria Vineyards and Victoria Windrows are built-out. Each of the four villages has a school, park and community facilities as a village center, and are connected by a pedestrian corridor, Victoria Linear Park (See diagram on following page and description on page 5-3).



*The Cucamonga Valley has a long history in vineyards and wineries. In the early 1920's, it was home to the largest vineyard in the world - over 6,000 acres. In 1995, Cucamonga Valley was designated as an approved Viticulture Appellation, by the Department of the Treasury (BATF).*



*Exhibit 1*

The terminus of this linear park is the Town Square in the center of the Regional Center. In Victoria Arbors, Victoria Linear Park takes the form of a boulevard with narrow, one-way traffic lanes and a wide central pedestrian island with trail and areas for events. This pedestrian island widens south of Church St. to become a Village Green and then culminates in the Town Square in the center of the Regional Commercial Center.

## **B. PURPOSE**

This Master Plan addresses the architectural, landscape architectural and site development requirements that will create the Village of



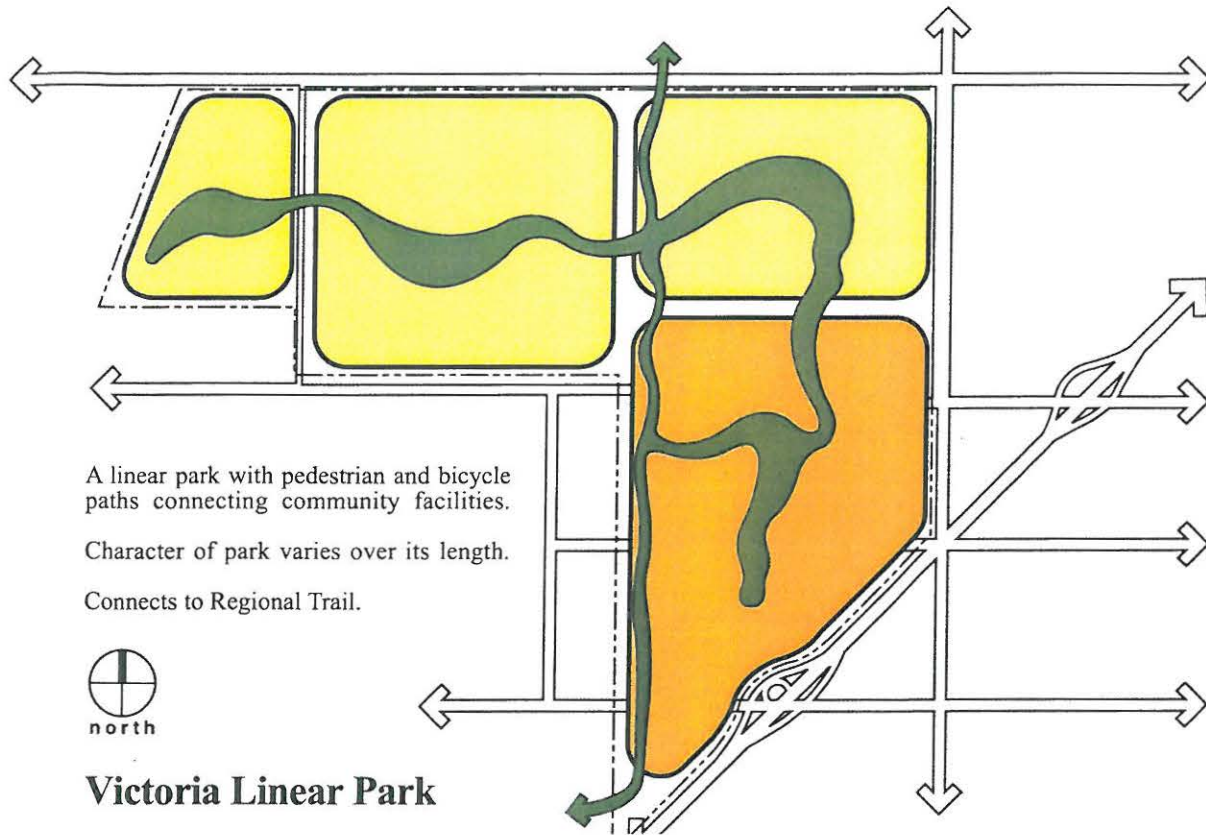


Exhibit 2

Victoria Arbors.

Adherence to these guidelines and standards will result in a high quality of appearance and land use compatibility. These standards and guidelines are intended as implementation criteria for use by builders, planners, architects, landscape architects and civil engineers who are preparing design and construction drawings for individual projects within the Village. This assures a benchmark of quality that directly enhances the value of each development.

The Master Plan will be used by the City of Rancho Cucamonga to review each builder's design submittal package to assure conformance with the overall Village design objectives.



*The Tuscan Region of Chianti Classico, Italy*

*GOAL - Provide direction to individual design efforts so that the overall Victoria Arbors Village maintains a strong sense of identity and character, and so that the cohesiveness of the design concept is maintained.*

## **C. GUIDELINE GOALS AND OBJECTIVES**

These goals will serve to direct the overall planning and design effort, as well as to outline the intent of the guidelines and standards. They are organized according to the major design elements of the Master Plan.

**General Goals and Objectives** - The general goals and objectives of the Master Plan are threefold:

- Provide direction to individual design efforts so that the overall Victoria Arbors Village maintains a strong sense of identity and character, and so that the cohesiveness of the design concept is maintained.
- Show consistency with adjacent plans and development trends in the area.
- Provide the framework for a co-operative public/private effort (City Parks Dept., Etiwanda School District, City Redevelopment Agency and Developers and Builders) which will ensure quality while maximizing property values.



Specific Goals and Objectives - The major design element goals and objectives of the Master Plan are as follows:

## 1. SITE PLANNING

**GOAL:** A viable, mixed use village with a series of residential neighborhoods and mixed-use areas interconnected to each other and to a central school/park by a system of paseos and linear parks, and an overall design theme of Wine Country.

### OBJECTIVES:

- Provide a cohesiveness among neighborhoods and mixed-use areas while providing an individual identity for each.
- Provide a variety of housing types and products to meet the various household and income groups.
- Protect uses and ensure non-encroachment of conflicting uses by location or buffering.
- Create pedestrian-friendly residential streets.

*Site Planning is the art and science of arranging uses, buildings and facilities on land in a manner that creates a unique "place."*

*Good site planning respects the environment; reflects the innate special character of the region while creating it's own identity; and results in a synergy of uses that sparks human interaction and the feeling of "community."*



*Cottage Streetscape, Orenco Station*



## 2. ARCHITECTURE

**GOAL:** A variety of housing and building types and styles that reflect the overall wine country design theme.

**OBJECTIVES:**

- Establish architecture design criteria to give guidance on the desired external three dimensional building form, materials and appearance.
- Institute some architectural elements required on all buildings, that will serve as icons; thereby establishing a recognizable identity as part of Victoria Arbors.







*Exhibit 3 - Park Illustrative Plan - This exhibit for illustrative purposes only. Final design may change*

### 3. OPEN SPACE, TRAILS AND RECREATION

**GOAL:** An integral open space, trail and recreation system to provide a community structure for Victoria Arbors

**OBJECTIVES:**

- Provide vital non-vehicular linkages between all land uses, neighborhoods, school and recreational facilities.
- Provide inviting places for people to gather and opportunities for interaction, especially in high use areas.
- Utilize the street system as an open space linkage to tie the whole community structure together through a unified streetscape theme.
- Connect trail and linear parks to existing and proposed regional trails.

*Parks, trails and recreation areas become practical extensions of the home - places to play, learn or rest.*

*Trails and greeways provide alternative connections to community resources. More importantly, they accommodate the recreational activity with the highest participation rate for all ages: walking.*

#### 4. LANDSCAPE

**GOAL:** A landscape theme for the community which acts to unify and further reinforce the open space and circulation components in the creation of the Victoria Arbors community structure.

**OBJECTIVES:**

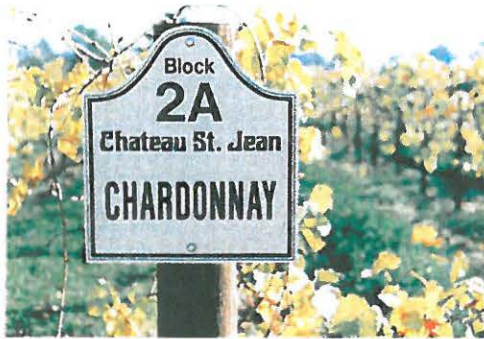
- Establish a landscape plant materials palette using City’s approved plant lists, for use in public rights-of-way and open space.
- Create more detailed designs for major project entries, street intersections, and special features, consistent with existing approved plans.

#### 5. SIGNAGE AND LIGHTING

**GOAL:** A signing and lighting program that informs and directs residents and visitors, and is of a character that reinforces the over-all design theme of Victoria Arbors.

**OBJECTIVES:**

- Name streets for wine grapes, wines, appellations and other names that evoke “Wine Country.”
- Provide lighting of appropriate height, spacing and wattage for safe and desirable illumination. Use City standards for streets and paseo lighting.





## COMMUNITY STRUCTURE & DESIGN CONCEPTS

### A. DESIGN CONCEPTS

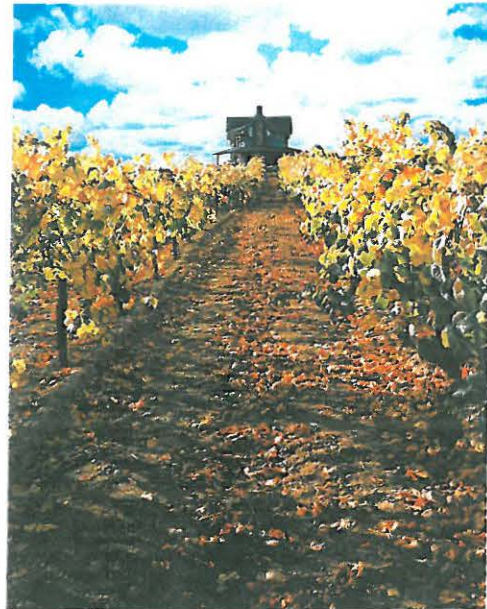
The Village of Victoria Arbors is a multi-use community thematically tied to its historic winery and agrarian roots. The design theme for this Village is wine country. The design, architecture and choice of materials should work to enforce this wine country theme. This character can reflect not only Rancho Cucamonga's history but the character of other wine regions, including Napa and Sonoma Valleys and those of France, Italy and other parts of Europe. These regions should be a source of inspiration for design and development of Victoria Arbors.

### B. VICTORIA ARBORS PLAN

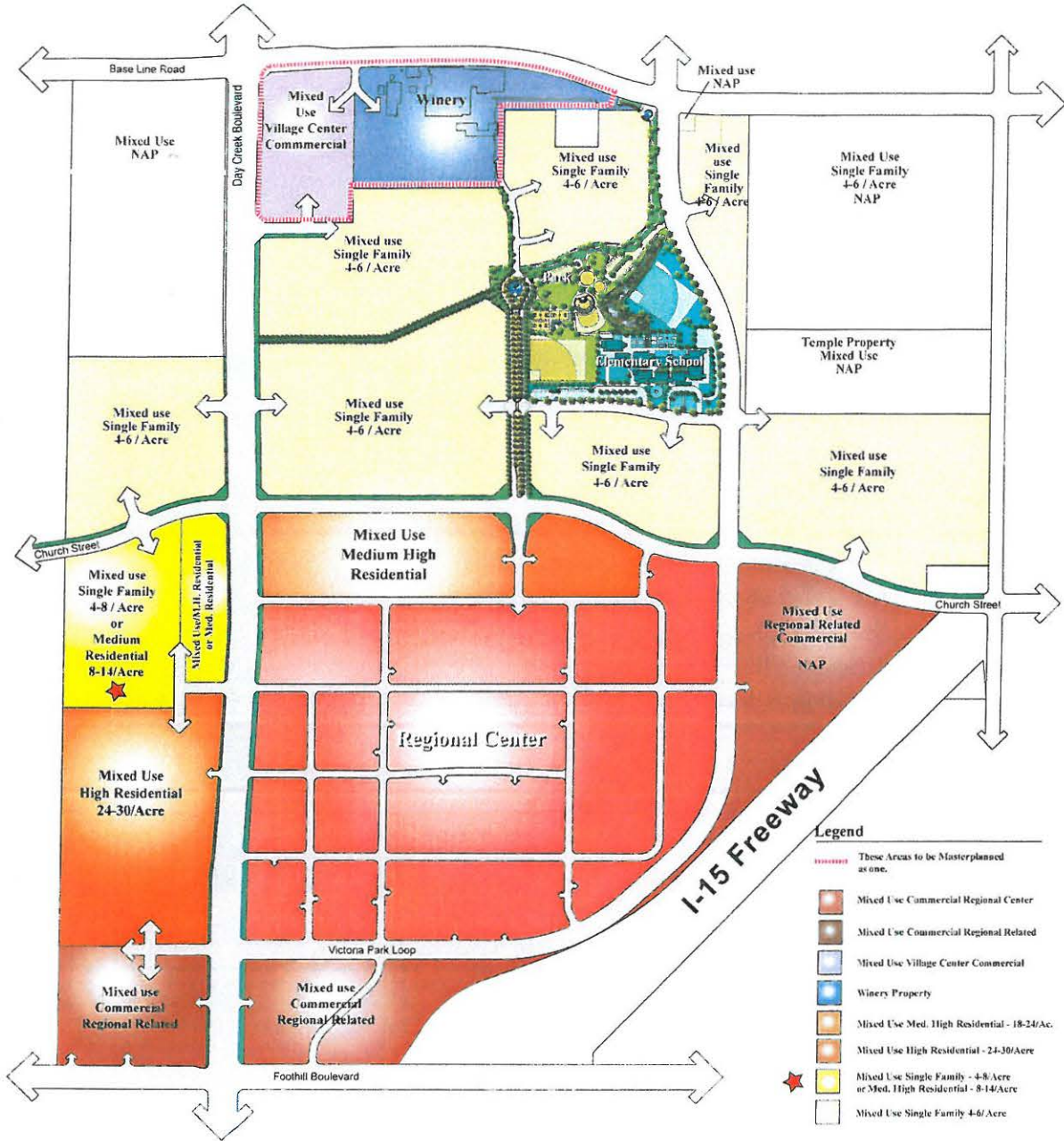
Victoria Arbors has been designed with a strong pedestrian/bicycle/auto spine (Arbor Lane) extending from the center of the northern residential community to the middle of the regional commercial center to the south. The northern end of the spine is an auto turn-about which in turn connects to the continuation of Victoria Park Lane linear park. The southern end of this spine culminates in a town square, the focus of the Regional Center.

#### 1. COMMUNITY STRUCTURE

The community structure of Victoria Arbors is made up of six elements including the pedestrian/bicycle/auto spine that connects them. These are:



*The design theme for this Village is WINE COUNTRY. The design, architecture and choice of materials should work to enforce this wine country theme.*



**PDS West**  
 Exhibit 4

**Victoria Arbors Master Plan**  
 Base Line Road to Foothill Blvd.

Exhibit 4

**NOTE:** For Land Use Designation within Victoria Arbors Master Plan. Refer to the Land Use Plan in Victoria Community Plan.



- Arbor Lane - This unique boulevard has a wide pedestrian island with a generous walkway and formal placement of London Plane Trees. Along either side of the boulevard is a formal row of Canary Island Pines. Arbor Lane has been designed to accommodate programmed events such as street fairs to occur in the island, if desired by the City.

- A historic winery which provides the thematic identity for Victoria Arbors is located in the northern portion of the site and connected to Victoria Lane by a paseo.

- Adjacent to the winery is a village commercial center which will serve the project and surrounding community with such uses as grocery and drug stores.

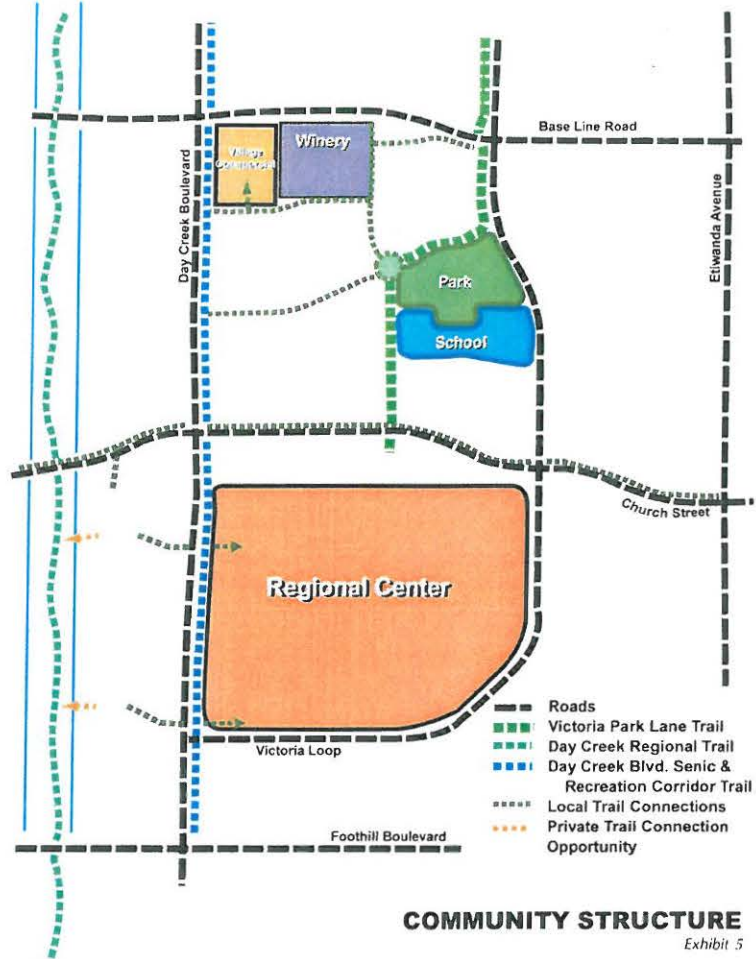


Exhibit 5

- A school/park is located in the center of the northern residential portion of the site. This complex will be the community focus for the residential neighborhoods of the village.
- Just south of Church Street is the beginning of the Village Green, a wide linear park serving a multi-family neighborhood, and providing a view for restaurants and offices in that portion of the regional center.
- South of the Village Green is the Town Square, located centrally in the regional center. The square will be an urban plaza with hardscape softened by trees and landscaping.

## 2. PEDESTRIAN-FRIENDLY RESIDENTIAL STREETS



*Narrow streets calm traffic and create an inviting pedestrian scale.*

In addition to Arbor Lane and greenways/paseos, the pedestrian network includes the walkways along residential streets. To make these streets as pedestrian-friendly as possible, several design concepts have been made a part of this Master Plan.

### a. Intimate Streets

Although the paving of residential streets will be a typical 36 ft. wide, the street will be made to feel more intimate, by planting street trees in a planting strip between curb and walk. The trees will help separate pedestrian walk from street. Front setbacks to porches and buildings will be reduced to 10 ft. from property line (except that garages shall be setback at least 20 ft. from the property line), also making the streetscape feel more intimate.

### b. Front Porches

Each house must have either a porch or an outdoor courtyard/patio with trellis, which will be located within conversational distance from pedestrians on the sidewalks. This will make the street friendlier and by having “eyes on the street.” make it safer as well.



*Porches contribute to a safer, friendlier more social neighborhood, while adding visual interest to the building.*

### c. Greenway/Paseo Connections

Pedestrians on residential streets will be able to walk without interruption through the location of greenways with local and regional trails and connective greenway segments at many cul-de-sacs.





*Exhibit 6*

*Looking North on Arbor Lane  
Illustrative Only*



# CHAPTER 3

## LAND USE

All land uses in the Village of Victoria Arbors are designated as Mixed Use, in the City's updated General Plan. The Master Plan gives each area a subcategory of use, based on intended primary use. These designations are:

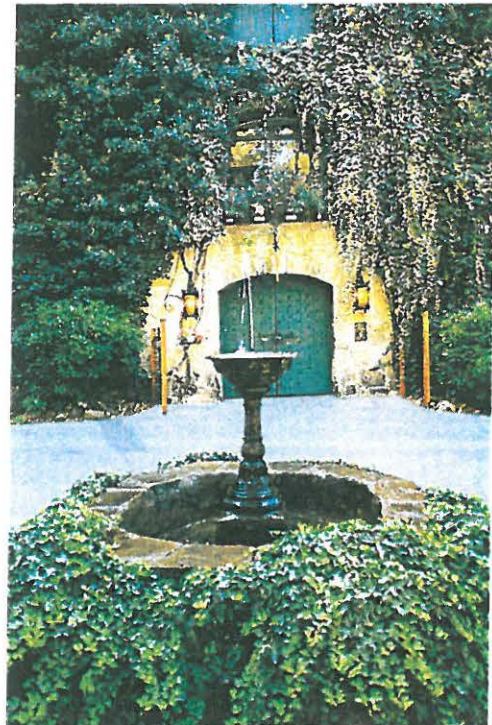
- A. *Mixed Use Single Family Residential*
- B. *Mixed Use Multi-Family Residential*
- C. *Mixed Use Commercial*
  - 1. *Regional-Related Commercial*
  - 2. *Village Center Commercial*
- D. *Mixed Use Community Facilities*

Following are descriptions of allowed and permitted uses within each of these categories, together with development standards.

*Alternative Use Areas* - There are also some mixed-use areas that can be developed as alternative uses. Specifically, there are two types of alternative use areas:

- 1. *Mixed Use Multi-Family Residential /Commercial*
- 2. *Single Family 4-10 DU/Acre*

These alternative areas will be discussed at the end of this chapter



## REVIEW PROCESS

Development of all projects within the Victoria Arbors Master Plan are subject to *Development/Design Review* (Section 17.06.010 of the *Development Code*). For areas which allow a choice of development of small lot innovative housing (7-10 dwellings per acre), and if the builder chooses to develop at the higher density, these projects will be subject to review and approval by the Planning Commission. Also, if in the opinion of the City Planner the application involves unusual site development requirements or unique operating characteristics, or raises questions of development policy substantially more significant than generally pertain to applications for development review and which require Planning Commission consideration, the City Planner may refer the application to the Planning Commission.

### **Development/Design Review Procedure**

The review will follow the Development/Design Review Procedure outlined in the City's Development Code. However, the primary criteria upon which the Design Review Committee will base its recommendation will be conformance with the Victoria Arbors Master Plan, which take precedence over the Development Code, unless otherwise noted.



# I. LAND USE SUBCATEGORIES

## A. MIXED USE SINGLE FAMILY RESIDENTIAL

Single family residential, (LM - Low Medium) is intended for residential development that has a range of four to eight dwellings per adjusted gross acre. The following regulations are applicable to these areas:

1. Uses Permitted: detached or attached residential dwellings not exceeding eight dwellings per adjusted gross acre, including, but not limited to:
  - a. Single family detached dwellings.
  - b. Single family attached dwellings, including, but not limited to , duplexes and triplexes.
  - c. Cluster Housing.
  - d. "Zero lot line" homes
  - e. Community Facilities as specified in that section which follows.
2. Accessory Uses Permitted: any of the following uses and structures:
  - a. Garages and carports, in compliance with the site development standards provided herein.
  - b. Fences, walls and trellises
  - c. Swimming pools.
  - d. Accessory uses and structures necessary or customarily incidental to a principal use as permitted by the Rancho Cucamonga Development Code
3. Site Development Standards:
  - a. Single Family Center Plot dwellings:
    - (1) Building site area: 5,300 sf minimum, 5,500 sf average
    - (2) Building site width: 53 ft. minimum.

It is intended that site widths will vary according to lot size and configuration.

- (3) Building setbacks: Varies according to lot size (See Table 1, below).
- (4) Building height: 35 ft. Maximum

- (1) Building site area: 3,500 sf minimum, 4,000 sf average.
- (2) Building setbacks: (See Table 1, below).
- (3) Density: Range of 7 to 10 dwellings per adjusted gross acre.
- (4) Innovative housing subject to design review process.

b. Innovative housing (7-10 DU/acre)

**LOW MEDIUM RESIDENTIAL DEVELOPMENT STANDARDS**

<b>LOT AREA</b>	
Minimum Net Average:	5,300 sq. ft.
Minimum Net:	5,000 sq. ft.
<b>LOT DIMENSIONS</b>	
Minimum width (at Required Front Setback)	53 ft.
Minimum width (at Setback on Cul-de-sac & Knuckles)	20 ft.
<b>SETBACKS (From Property Line)</b>	
Front Yard Minimum (Porch and House)	10 ft.
Front Yard Minimum (Garage Door)	20 fr.
Interior Side Yard (House)	5 ft.
Interior Side Yard (Porch)	5 ft.
Interior Side Yard (Open Trellis and Beam)	3 ft.
Useable Rear Yard	15 ft.
Corner Side Yard	10 ft.
Streetscape (Major/Special) to Building	45 ft.
Streetscape (Secondary/Collector) to Building	35 ft.

**CREATIVE SMALL LOT DEVELOPMENT STANDARDS**

<b>LOT AREA</b>	
Minimum Net Average:	3,800 sq. ft.
Minimum Net:	3,600 sq. ft.
<b>LOT DIMENSIONS</b>	
Minimum width (at Required Front Setback)	35 ft.
Minimum width (at Setback on Cul-de-sac & Knuckles)	20 ft.
<b>SETBACKS (From Property Line)</b>	
Front Yard Minimum (Porch and House)	10 ft.
Front Yard Minimum (Garage)	20 fr.
Interior Side Yard	5 ft.
Interior Side Yard (Open Trellis and Beam)	3 ft.
Rear Yard	15 ft.
Streetscape (Major/Special) to Building	45 ft.
Streetscape (Secondary/Collector) to Building	35 ft.

*Table 1 - Setbacks and Development Standards*

## **B. MIXED USE MULTI-FAMILY RESIDENTIAL**

There are two density levels of multi-family residential proposed for Victoria Arbors: Medium High Density (MH), and High Density (H):

### **1. MEDIUM HIGH DENSITY RESIDENTIAL (MH)**

Land designated as Medium High Density Residential housing is intended for residential development that ranges from 14-24 dwellings per adjusted gross acre. The following regulations are applicable for these areas:

- a. Uses Permitted:
  - (1) Multiple-family dwellings, including, but not limited to, apartment projects, condominium projects, and cooperative apartment projects.
  - (2) Accessory buildings, structures and uses where related and incidental to a permitted use.
  - (3) Community Facilities - See Community Facilities section below.
  
- b. Site Development Standards:
  - (1) Building Site Area: 3 acres, minimum
  - (2) Building Setbacks: Per Development Code 17.08.04B&C
  - (3) Building Separations:  
Per Development Code Table 17.08.040E
  - (4) Building Height: 40 ft. maximum
  - (5) Building Site Coverage: 55% max.
  - (6) Parking per Development Code Section 17.12
  - (7) Site Development Criteria per Development Code Section 17.08.040

## 2. HIGH DENSITY RESIDENTIAL (H)

Land designated as High Density Residential is intended for residential development that ranges from 24 to 30 dwellings per adjusted gross acre. The following regulations are applicable for these areas:

- a. Uses Permitted:
  - (1) Multiple family dwellings, included but not limited to, apartment projects, condominium projects, senior residential projects, and cooperative apartment projects.
  - (2) Accessory building structures and uses where related and incidental to a permitted use.
  - (3) Community facilities - See Community Facilities section below.
  
- b. Site Development Standards:
  - (1) Building site area: 3 acres, minimum
  - (2) Building site coverage: 60% max.
  - (3) Building setbacks Per Development Code 17.08.04B&C
  - (4) Building Height: 55' maximum.
  - (5) Building Separations:  
Per Development Code Table 17.08.040E
  - (6) Parking per Development Code Section 17.12
  - (7) Site Development Criteria per Development Code Section 17.08.040



## C. MIXED USE COMMERCIAL

Mixed use areas that are primarily commercial will fall into one of two categories: Regional Related Commercial - those parcels that are proximate to the Regional Commercial and provide services and products to a regional market; and Village Center Commercial- those parcels that will primarily serve the surrounding community.

### 1. REGIONAL RELATED COMMERCIAL

a. The following general categories of uses shall be permitted:

(1) Retail business, including but not limited to:

- department stores
- furniture stores
- automobile sales
- pet stores
- motorcycle sales and service
- home improvement center
- hardware stores
- grocery stores
- clothing stores
- meat markets or delicatessens

(2) Service business, including but not limited to:

- banks, financial institutions
- blueprinting and photostating
- cleaning and pressing business
- laundries
- locksmiths
- plumbing supply
- movie theaters
- photographic supplies or studios
- equipment rental

(3) Administrative and professional offices

- (4) Restaurants
  - (5) Commercial
  - (6) Nurseries and garden supply stores, provided that fertilizer of any type be stored and sold in packages form only
  - (7) Public utility offices
  - (8) Hotels and motels
  - (9) Self-service laundry and self-service dry cleaning facilities
  - (10) Accessory structures and uses necessary or customarily incidental to the above uses as permitted by the Rancho Cucamonga Development Code
  - (11) Permitted Community Facilities listed below.
  - (12) Permitted uses listed under General Commercial of Development Code.
- b. Uses permitted subject to a Conditional Use Permit:
- (1) Conditional uses listed under General Commercial of Development Code
  - (2) Animal care facilities
  - (3) Public utility booster stations
  - (4) Parking lots and parking buildings
  - (5) Public utility exchange and substations
  - (6) Restaurants with entertainment and/or serving of alcoholic beverages.

- (7) Public buildings
  - (8) All drive-through uses
  - (9) Accessory structures and uses necessary or customarily incidental to the above uses as specifically provided for in the use permit
  - (10) Conditionally permitted Community Facilities listed below
  - (11) Shopping Centers subject to provision and approval of a master plan/ conceptual development plan.
  - (12) Service Business, including but not limited to:
    - automobile repair & Service facilities
    - mortuaries
    - mechanical auto wash
- c. Site Development Standards - Per Development Code.

## 2. VILLAGE CENTER COMMERCIAL

- a. The following general categories of uses shall be permitted:
  - (1) Retail business, including but not limited to:
    - grocery stores
    - meat markets, delicatessens
    - produce markets
    - drug stores
    - dry good stores
    - hardware sales
    - pet stores
    - clothing stores
    - florist shops

- (2) Service businesses, including but not limited to:
    - Banks, financial institutions
    - barber shops, beauty parlors
    - locksmiths
    - laundry and dry cleaning establishments
    - self-service laundry and dry cleaning
  - (3) Administrative and professional offices
  - (4) Governmental offices
  - (5) Restaurants other than fast food, including incidental serving of beer and wine but without a cocktail lounge, bar, entertainment or dancing
  - (6) Accessory structures and uses necessary or customarily incidental to the above as provided for in the Rancho Cucamonga Zoning Ordinance
  - (7) Permitted uses listed under Neighborhood Commercial in the Development Code.
- b. Uses permitted subject to specific approval of a Conditional Use Permit:
- (1) Automotive service stations
  - (2) Convenience markets
  - (3) Fast food restaurants
  - (4) Wine and liquor stores
  - (5) Restaurants with entertainment and/or serving of alcoholic beverages
  - (6) All drive-through uses.

- (7) Shopping centers subject to provision and approval of a master plan/ conceptual development plan.
  - (8) Conditionally permitted Community Facilities listed below.
  - (9) Conditional permitted uses listed under Neighborhood Commercial in the Development Code
- c. Site Development Standards - Per Development Code.

#### **D. MIXED USE COMMUNITY FACILITIES**

The Community Facilities section of the Victoria Arbors Master Plan is established to provide for community support uses and those additional uses which are found to be compatible with the basic permitted uses by the Site Plan Review Process procedure.

a. Uses Permitted

- (1) The following uses shall be permitted within Residential and Commercial Land Use areas in Victoria Arbors:
  - Small family Day Care in the home, providing care for six (6) or less persons
  - Public Park and Playground
  - General Open Space uses
  - Accessory structures and uses necessary or customarily incidental to the above as provided for in the Rancho Cucamonga Development Code.

b. Conditionally Permitted Uses

(2) The following uses shall be permitted within Residential or Commercial Land Use areas in Victoria Arbors subject to the Conditional Use Permit process:

- Church
- Club, lodge, fraternity and sorority
- Convalescent center
- Public facility, such as, but not limited to, civic and community buildings
- Large Family Day Care in the home, providing care for 7-12 persons.
- Child Care centers
- Fire and police station
- Outdoor recreation
- Schools, private and parochial
- Utility or service facility
- Historic landmarked winery consisting of manufacturing, pressing, blending and bottling of wine, and including accessory uses such as, but not limited to, retail sales, wine tasting, banquet facility, restaurants, and other uses as found by the Planning Commission to be consistent with the spirit or intent of a historic winery site.
- RV, Mini-Storage

c. Site Development Standards - Per Develop-

ment Code

## II. ALTERNATIVE LAND USE AREAS

### A. MIXED USE MULTI-FAMILY/RESIDENTIAL/COMMERCIAL

These areas may be developed either as multi-family residential (Medium High density residential) or as Regional Related Commercial. Development of the parcels will be subject to the requirements in the Master Plan for either *Mixed Use Multi-Family* or *Mixed Use Commercial, Regional-Related Commercial*, depending on which use is chosen.

### B. SINGLE FAMILY 4-10 DU/ACRE

These areas may be developed with either single family detached or attached homes at LM density (4-8 DU/Ac - 5,300 sq. ft. minimum lots) or as single family detached homes at 8-10 DU/Ac. Thus this designation specifically allows the choice of small-lot detached homes (8-10 DU/Ac. or 3,000 to 4,500 sq. ft. lots), subject to the City of Rancho Cucamonga's Design Review process. It will be incumbent upon the builder to convince the City, through this process, that the small-lot project will be a pleasant place to live and an attractive addition to the City.

In either case, the parcels will be subject to the requirements in the Master Plan for Mixed Use Single Family Residential.





## COMMUNITY LANDSCAPE GUIDELINES

### A. CONCEPTUAL LANDSCAPE PLAN

The Conceptual Landscape Plan (Exhibit 8), shows the overall landscape concept and describes the general planting design. In addition the plan identifies the Community Entries and City Gateway, the design of which is shown on the following pages of this chapter.

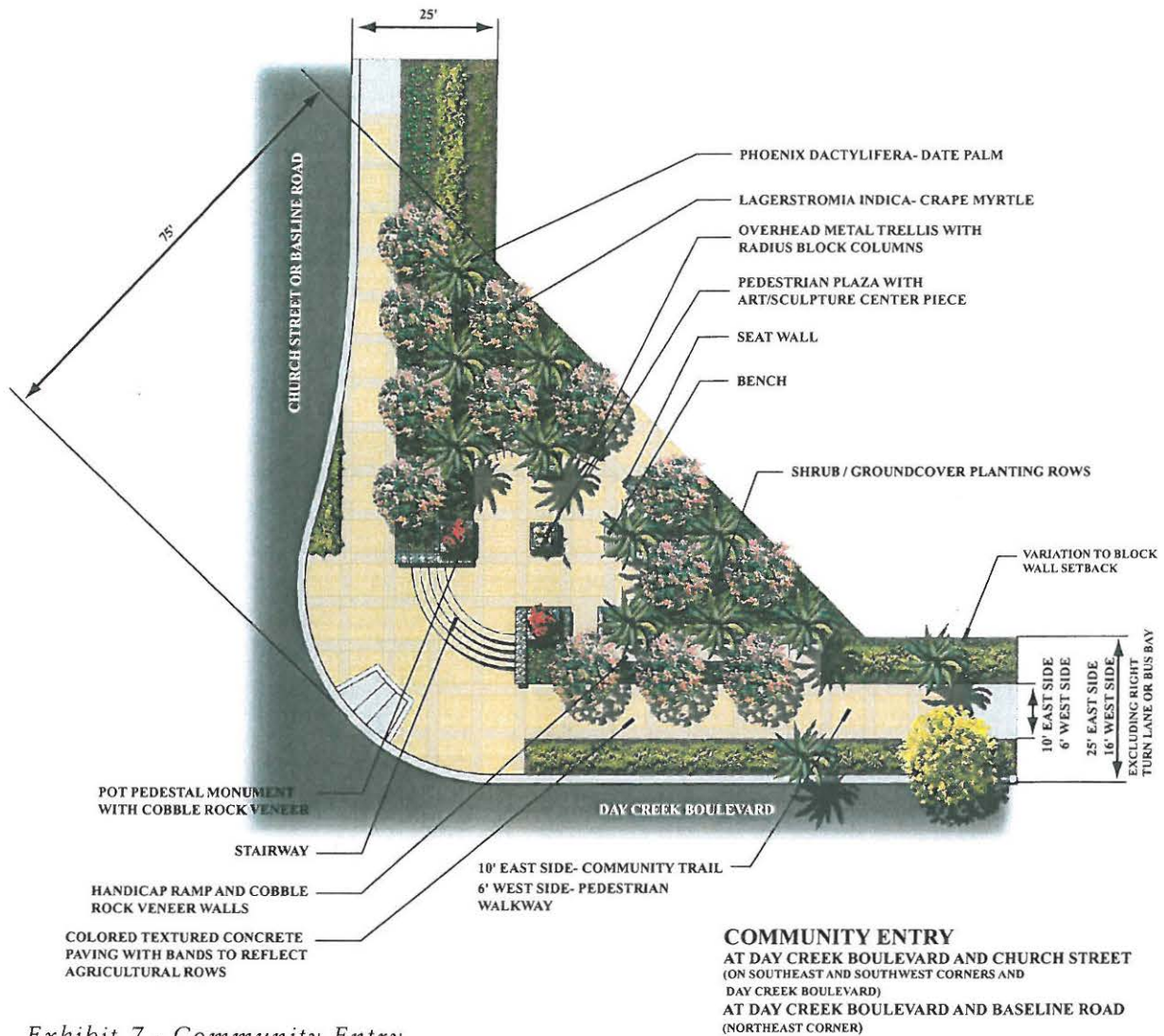
Further information regarding the plant material to be used, see the Plant Palettes in Section D of this chapter.

Plant material shown in the Conceptual Landscape Plan were selected to be consistent with existing streets or master plans (Day Creek Blvd. and Etiwanda Avenue), or fit with the agrarian/vintner character of the area (Base Line Road and Arbor Boulevard), or fit with the its urban situation (Church Street). Interior street trees were chosen for their scale, color and suitability for residential streetscapes.



### B. MAJOR ENTRIES/INTERSECTIONS

The following entries/intersection are important to the Village of Victoria Arbors, and merit special design and development. The design of intersections along Day Creek Blvd. are based on the Day Creek Boulevard Scenic/ Recreation Corridor Master Plan.:

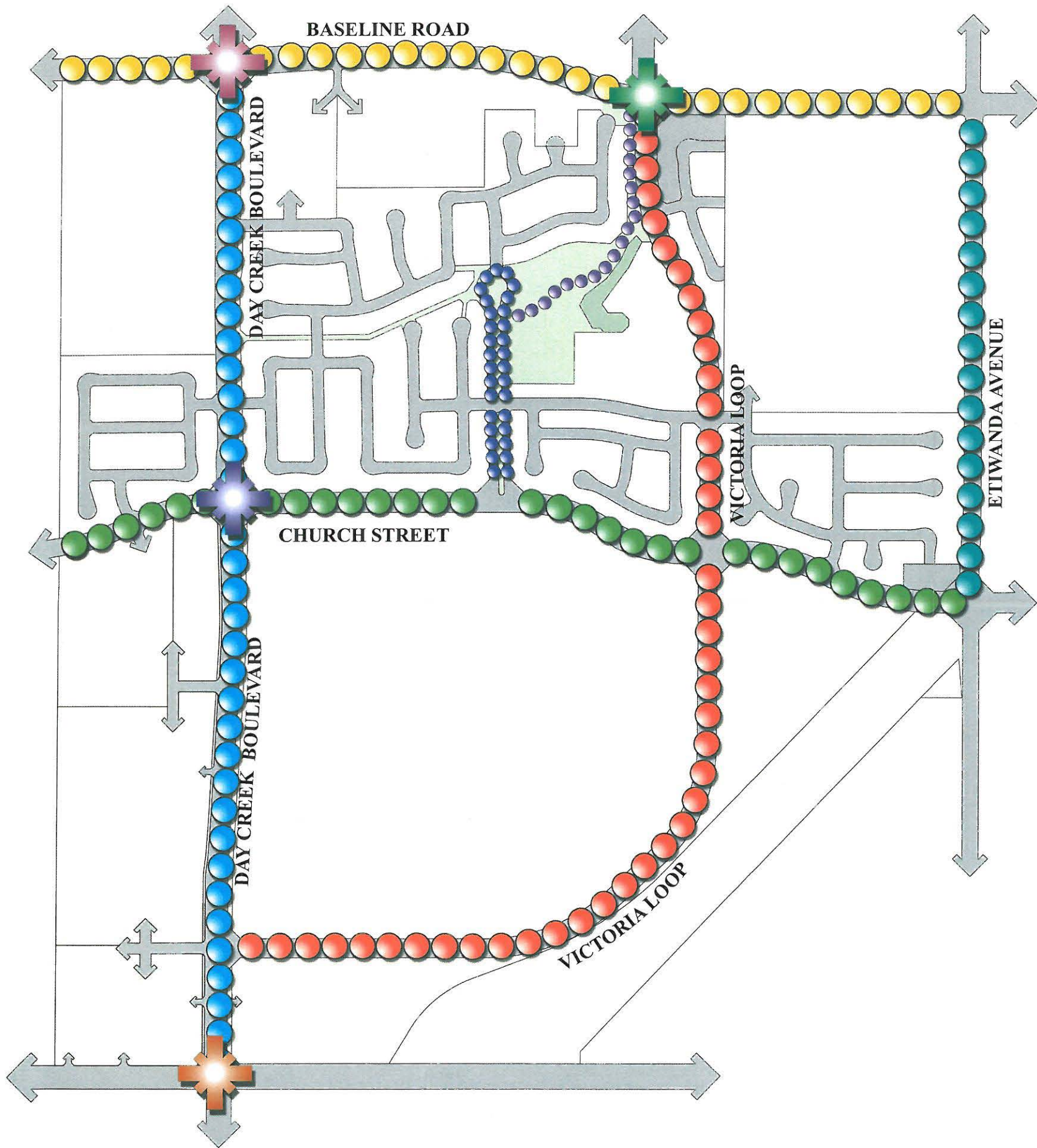


*Exhibit 7 - Community Entry at Commercial Use*







**1. COMMUNITY ENTRY at Day Creek Blvd. and Base Line Road and Day Creek Blvd and Church Street at Commercial Use**

On the southeast corner of the intersection of Day Creek Blvd. and Base Line and the southeast and south west corners of the intersection of Day Creek Blvd. and Church St. the entrance treatment will abut commercial or mixed use including commercial uses. This entrance/intersection treatment will be designed per the Day Creek Blvd Master Plan, and as shown on the drawing.





**LEGEND**

- 
**DAY CREEK BOULEVARD (Per City Master Plan)\***  
 WASHINGTONIA ROBUSTA INTERSPERSED EVENLY WITH PYRUS CALLEYANA "ARISTOCRAT" TRIANGULATED TREE ROWS TO FLANK A MEANDERING 10' TRAIL ON EASTSIDE OF THE STREET, AND A MEANDERING 6' SIDEWALK ON WESTSIDE OF THE STREET. MEDIAN WILL ALSO INCORPORATE PYRUS CALLEYANA "ARISTOCRAT."
- 
**BASELINE ROAD (Per City Master Plan - East of Haven)\***  
 MAGNOLIA GRANDIFLORA "SAMUEL SOMMER" IN TRIANGULAR FORMATION. PINUS CANARIENSIS USED AS OCCASIONAL INFORMAL BACKDROP. LIQUIDAMBER STYRACIFLUA "FESTIVAL" IS THE ACCENT TREE. THE 5' WIDE CONCRETE WALK SHALL MEANDER TO ALLOW PLANTING AREA FOR TREES (MAY REQUIRE SIDEWALK EASEMENTS).
- 
**VICTORIA LOOP\***  
 RHUS LANCEA (FORMAL) WITH 5' WIDE SIDEWALK. THE MEDIAN TO BE PLANTED WITH LIQUIDAMBER STRACIFLUA "FESTIVAL" (FORMAL)
- 
**CHURCH STREET\***  
 PRIMARY TREE SHALL BE MAGNOLIA GRANDIFLORA "SAMUEL SOMMER"(INFORMAL). WHERE SPACE ALLOWS, THE BACKGROUND TREE SHALL BE GEIJERA PARVIFOLIA (INFORMAL). A 6' WIDE MEANDERING WALK WILL BE PROVIDED. MEDIAN SHALL HAVE LAGERSTROEMIA INDICA "NATCHEZ" (FORMAL).
- 
**ARBOR LANE\***  
 A 40' WIDE PEDESTRIAN ISLAND WILL INCLUDE A MINIMUM 10' WIDE WALKWAY AND REGIMENTED PLACEMENT OF PLATANUS ACERFOLIA "BLOODGOOD" TREES. PARKWAYS PLANTED WITH PINUS CANARIENSIS (FORMAL). AN INNER CIRCLE OF CALIFORNIA FAN PALMS (FORMAL) WILL BE PLACED THE NORTHERN TERMINIS OF THE PEDESTRIAN ISLAND.
- 
**VICTORIA LINEAR PARK\***  
 THIS LINEAR PARK CONTINUES FROM VICTORIA PARK LANE WITH A 10' MEANDERING WALKWAY AND A 50/50 MIX OF PINUS CANARIENSIS AND PLATANUS ACERFOLIA "BLOODGOOD" (INFORMAL).
- 
**ETIWANDA AVENUE**  
 EUCALYPTUS CAMALOULENSIS IN 13' WIDE PLANTING AREA BETWEEN CURB AND WALK. PINUS CANARIENSIS AND PLATANUS ACERFOLIA "BLOODGOOD" TO BE USED INFORMALLY BEHIND WALK (IN YARDS).
- 
**INTERIOR STREETS**  
 CERCIS OCCIDENTALIS; GEIJERA PARVIFLORA; LAGERSTROMEIA INDICA (FAURIAL HYBRIDS); MAGNOLIA "ST. MARY"; PYRUS CALLERYANA; AND RHUS LANCEA.

*NOTE:* ALL TREES TO BE SIZED AND SPACED PER CITY ENGINEERING DIVISION.

\* ALL PUBLICLY MAINTAINED PARKWAYS MUST INCORPORATE 40% DECORATIVE HARDSCAPE. MEDIAN DESIGN HARDSCAPE PER THE ENGINEERING DIVISION.

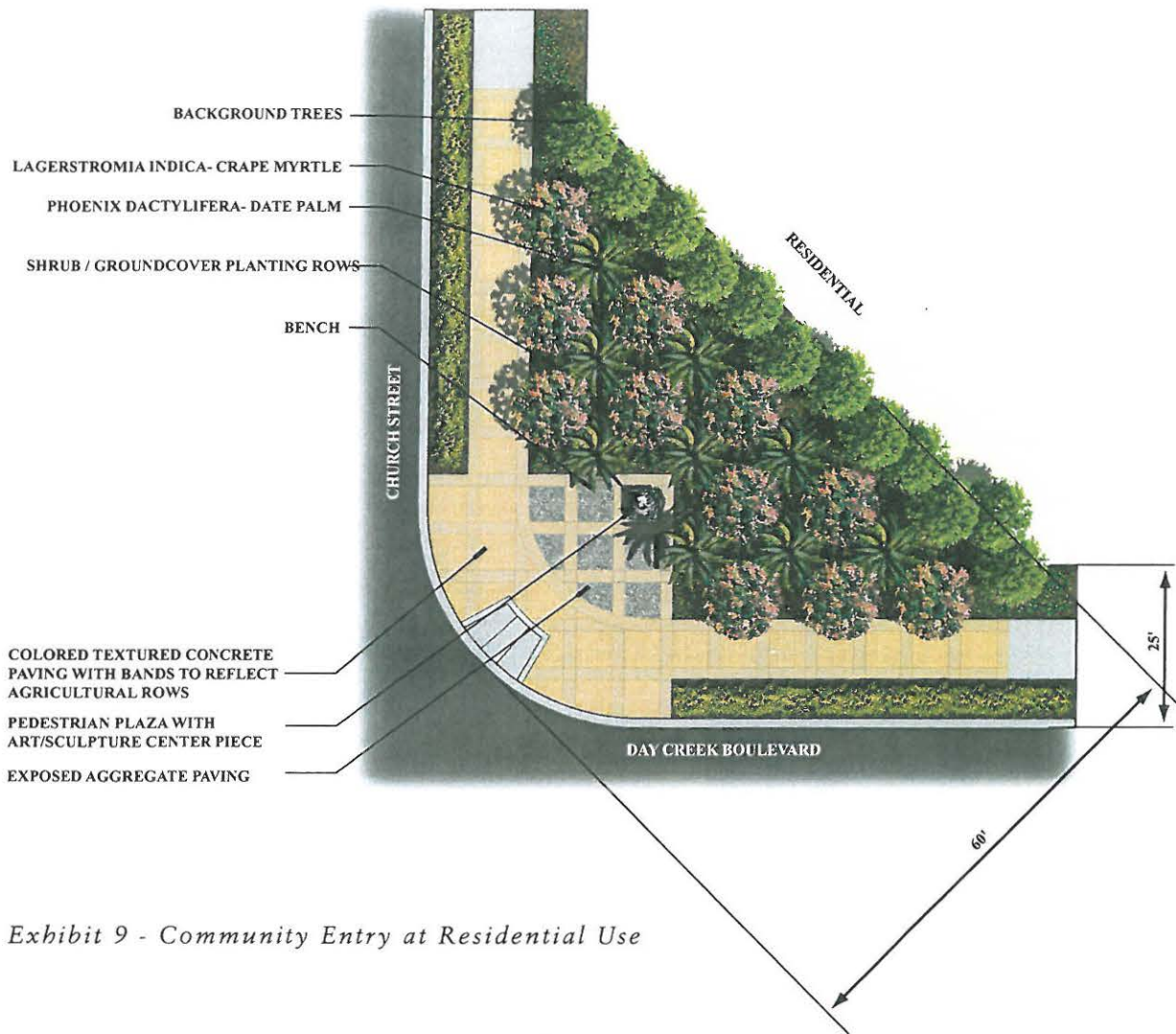
**LEGEND**

- 
**Community Entry at Commercial use**  
 Southeast and Southwest corner at Baseline Road and Day Creek Boulevard  
*(See detailed plans)*
- 
**Community Entry at Commercial use**  
 (Southeast and southwest corners)  
**At Residential use**  
 (Northeast and Northwest corners)  
*(See detailed plans)*
- 
**Special Community Entry**  
*(See detailed plans)*
- 
**Regional City Gateway**  
*(See detailed plans)*

**CONCEPTUAL LANDSCAPE PLAN**

**EXHIBIT 8**





*Exhibit 9 - Community Entry at Residential Use*

## 2. COMMUNITY ENTRY at Day Creek Blvd. and Church Street at Residential Use

On the northeast and northwest corners of the intersection of Day Creek Blvd. Church St. the entrance treatment will abut residential use. This entrance/intersection treatment will be designed per the Day Creek Blvd Master Plan, and as conceptually shown on the drawing.

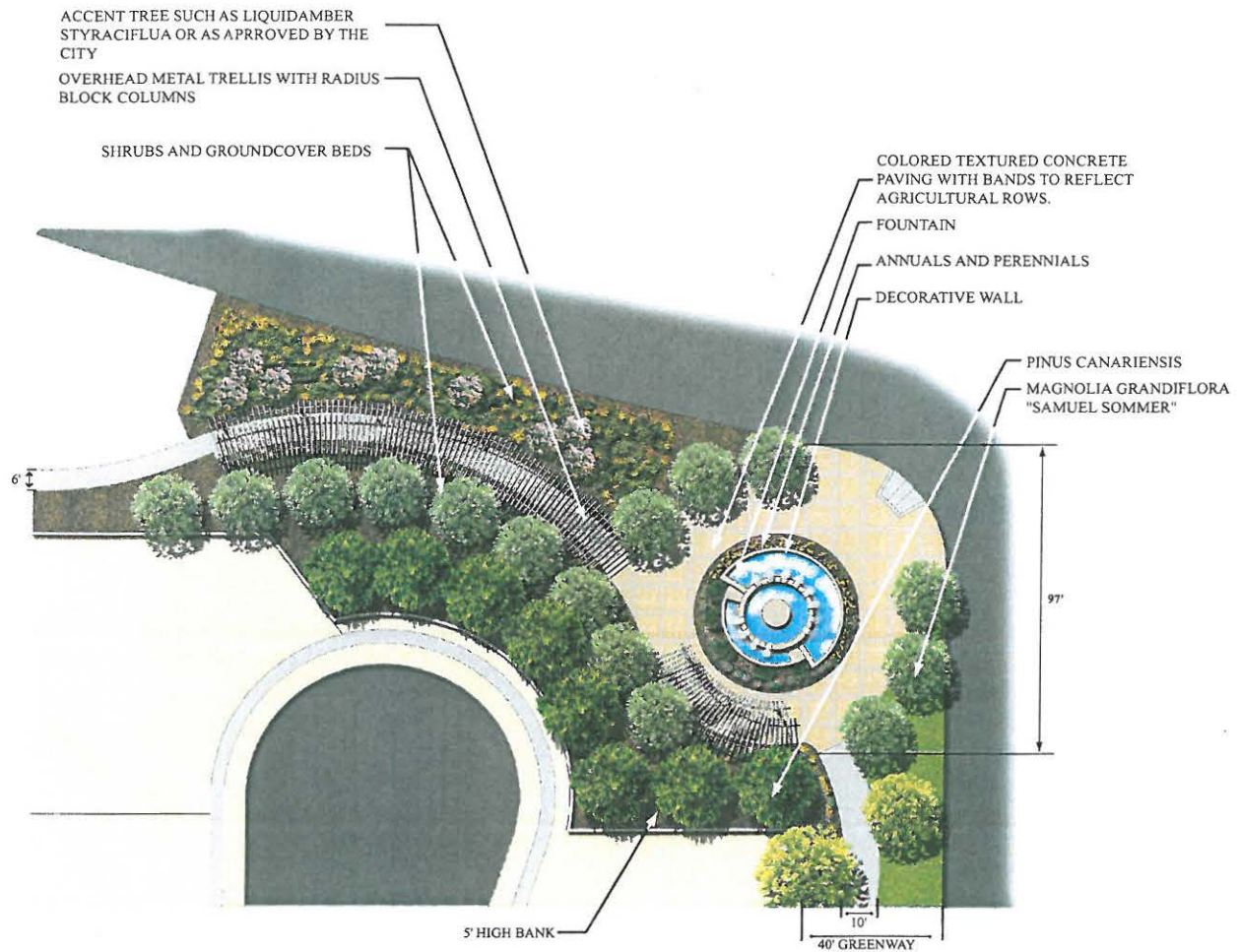
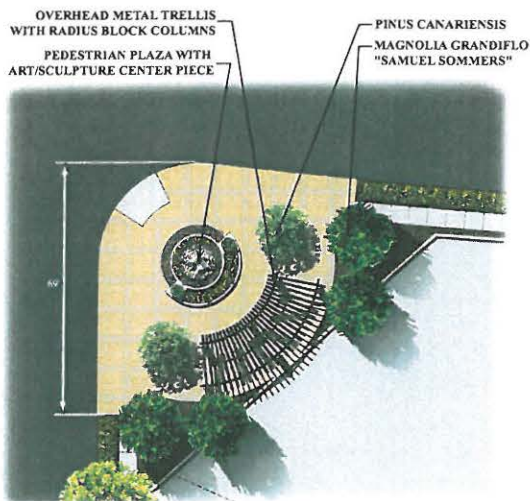


Exhibit 10 - Special Community Entry  
Illustrative Purposes Only

### Southwest Corner

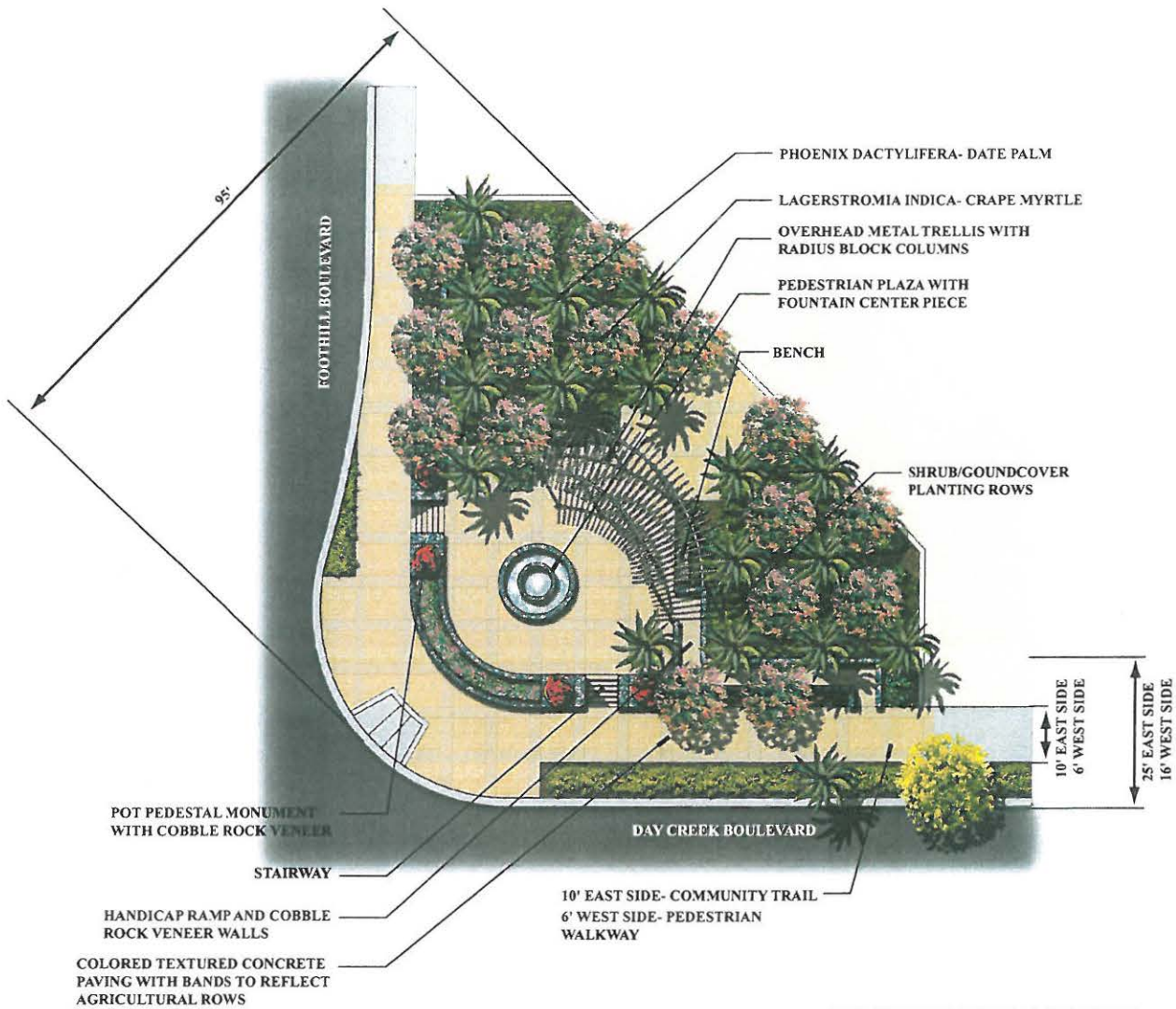


### Southeast Corner

### 3. SPECIAL COMMUNITY ENTRY at Base Line Road and Victoria Loop

This particular corner (southwest and southeast), is both an important entry to the community and a directional node for the continuation of Victoria Park Lane's pedestrian trail. Pedestrian traffic from the north is directed south along Victoria Loop in a 40 ft. wide greenway that continues the Victoria Linear Park. More obliquely, there is an alternative trail along Base Line Road leading to the historical winery.





**REGIONAL CITY GATEWAY  
AT DAY CREEK BOULEVARD AND  
FOOTHILL BOULEVARD**

*Exhibit 11*

#### 4. REGIONAL CITY GATEWAY at Day Creek Blvd. and Foothill Blvd.

All four corners of this intersection will abut commercial uses. This entrance/intersection will be designed per the Day Creek Blvd Master Plan and as shown conceptually on the drawing

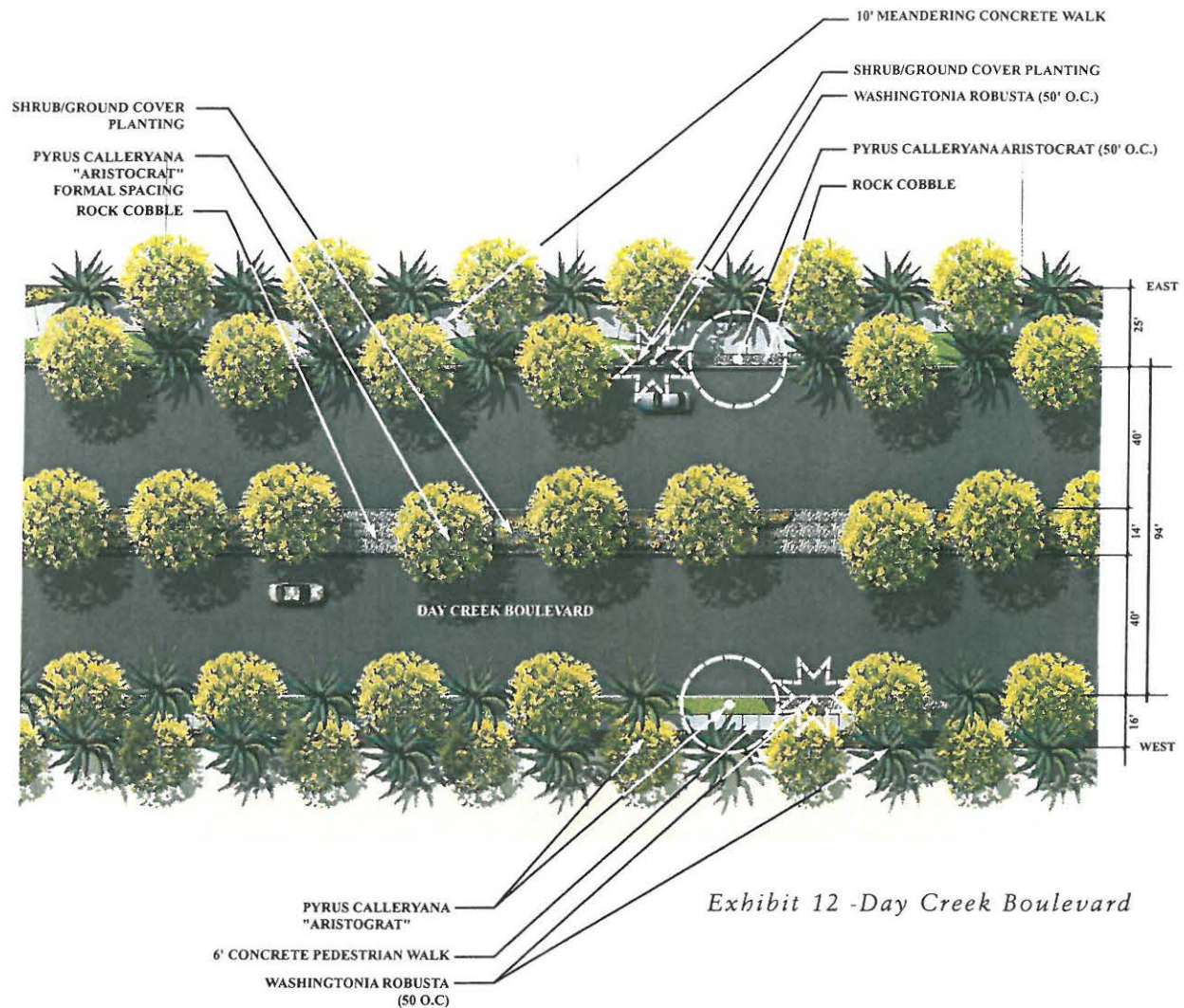


Exhibit 12 -Day Creek Boulevard

## C. STREETS AND ROADS

The Streets and Roads of Victoria Arbors will be treated as follows:

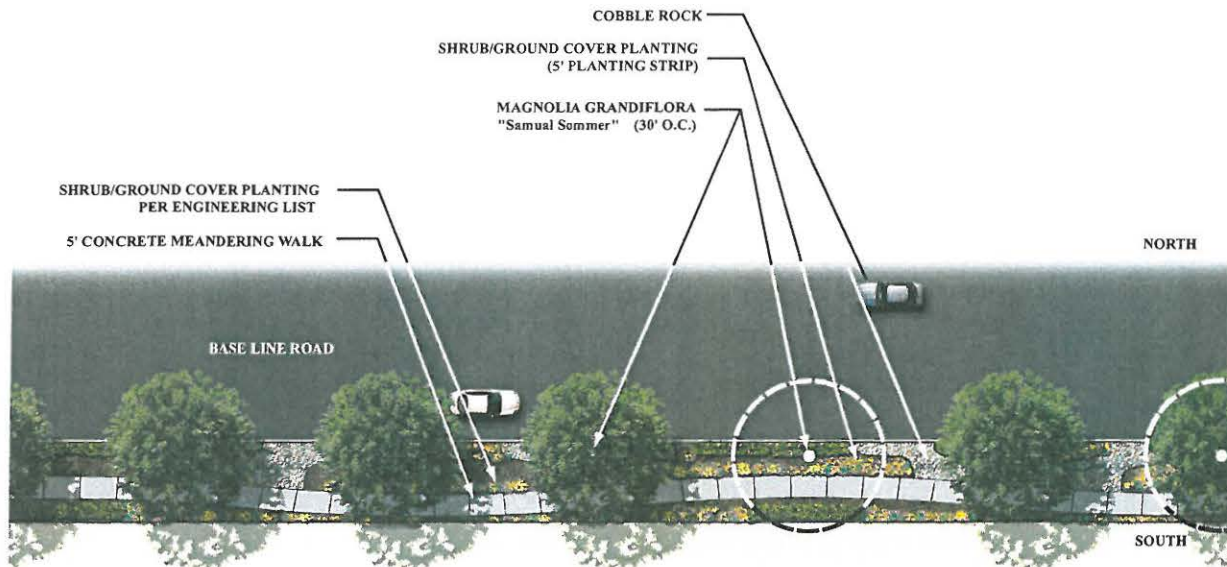
### 1. DAY CREEK BOULEVARD

Day Creek Boulevard is considered a Scenic/Recreation Corridor and has an approved master plan. All designs proposed for this important street will be consistent with the approved master plan.

The east side of Day Creek Blvd. will include a 25 ft. wide greenway with a regional trail, exclusive of right turn lanes or bus bay.

Washington Robusta at 50 ft. o.c. will be evenly planted with Pyrus calleryana (also at 50 ft. o.c.) resulting in alternately planted rows of trees at 25 ft. o.c., occurring on either side of a 10 ft wide sidewalk on the east side and a 6 ft. wide sidewalk on the west side. The landscaped median will be planted with Pyrus calleyana, between areas of cobble rock in a semi-formal arrancement. All planting and design shall be per City Day Creek Boulevard Master Plan

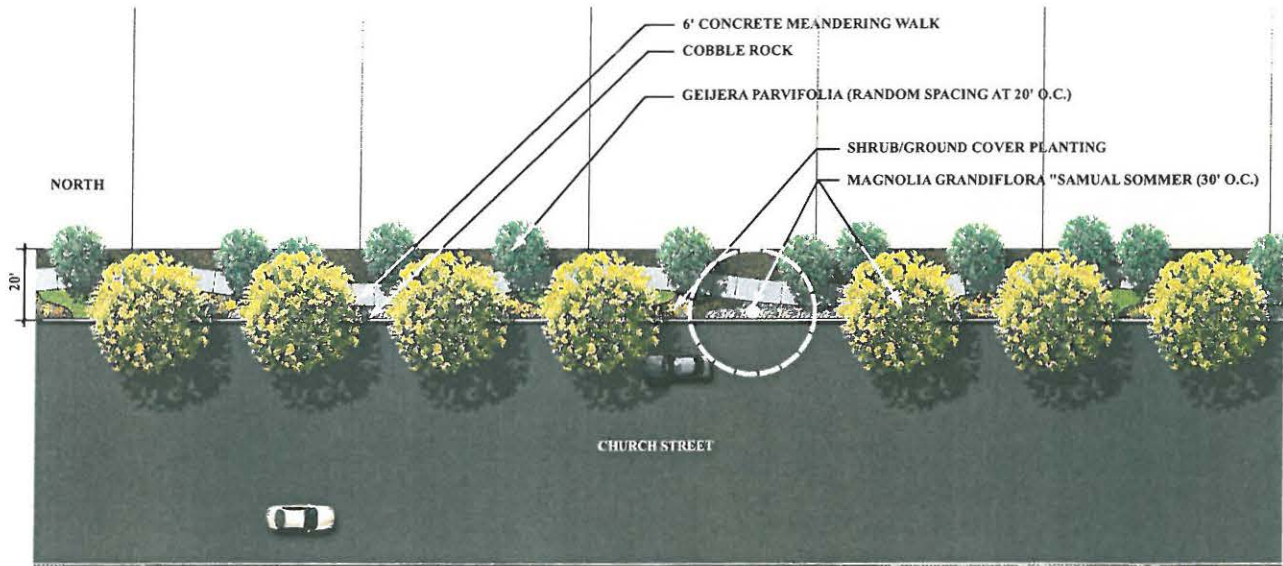




*Exhibit 13 - Base Line Road*

## 2. BASE LINE ROAD

Magnolia grandiflora “Samuel Sommer” (triangulated at 30 ft. o.c.) will be planted in the parkway (with 40% hardscape, only in LMD areas), Pinus canariensis (informal backdrop) will be planted as a back-up tree. Liquidambar styraciflua “Festival” will be planted as an accent tree. A 5 ft. concrete walk shall meander to allow 8 ft. planting area for trees. On all publicly maintained areas, shrubs and ground cover shall be planted per City Baseline Beautification Master Plan.



SOUTH

*Exhibit 14 - Church Street*

### 3. CHURCH STREET

Magnolia Grandiflora “Samual Sommer” (random at 30’ o.c.) will be planted in parkway (with 40% hardscape). Geijera parvifolia (at 20’ o.c.) will be planted as a back-up tree. Lagerstroemia indica “Natchez” (formal spacing at 20 o.c.) will be planted in the median on Church St. east of Victoria Loop. In all publically maintained areas, shrubs and groundcover shall be planted per City Engineering Division plant list.

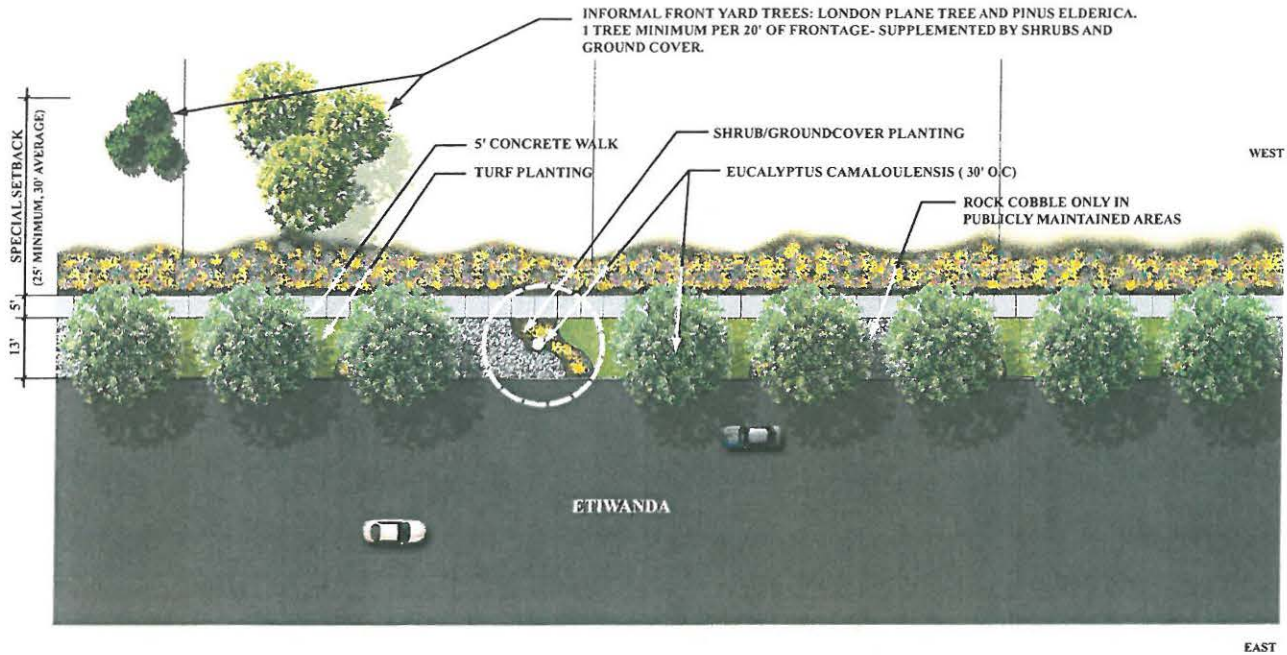


Exhibit 15 - Etiwanda Avenue

#### 4. ETIWANDA AVENUE

Eucalyptus camaldulensis (at 30 ft. o.c.) will be planted in a 13 ft. wide parkway. Pinus eldarica and Platanus acerifolia (random spacing) will be planted as back-up trees behind the walk in yards. A 5 ft. wide concrete walk will be separated from the curb by a 13 ft. wide planting area between walk and curb. A special building setback from back of walk, of 25 ft. minimum, 30 ft. average, is required. Curbs shall be stone matching existing curbstones along Etiwanda

Avenue.

#### 5. INTERIOR STREETS

Residential (interior) streets will be designed and planted to appear intimate and pedestrian friendly (see Chapter 2, Section B-2). Size and spacing will be per the City Engineering Division Street Tree Program. The type of trees can be found in Chapter 5, Section B-1.

## D. PLANT PALETTES

Following are palettes of trees, shrubs and vines to be used in Victoria Arbors:

### 1. STREETS CAPES

#### DAY CREEK BOULEVARD

Street Tree:	<i>Pyrus calleryana</i> "Aristocrat" - Aristocrat Ornamental Pear
Palm Tree:	<i>Washingtonia robusta</i> - Mexican Fan Palm
Background/ Slope Trees:	<i>Brachychiton populneus</i> - Bottle Tree <i>Geijera parvifolia</i> - Australian Willow

#### BASE LINE ROAD

Street Tree:	<i>Magnolia grandiflora</i> "Samuel Sommer" - Samuel Sommer Southern Magnolia
Back-Up Tree:	<i>Pinus canariensis</i> - Canary Island Pine
Accent Tree:	<i>Liquidambar styraciflua</i> "Festival" - Festival Sweetgum

#### VICTORIA LOOP

Street Tree:	<i>Rhus lancea</i> - African sumac
Street Tree:	<i>Pinus Canariensis</i> - Canary Island Pine
Median Tree:	<i>Liquidambar styraciflua</i> - Sweetgum

#### CHURCH STREET

Street Tree:	<i>Magnolia grandiflora</i> "Samuel Sommer" - Samuel Sommer Southern Magnolia
Back-up Tree	<i>Geijera parvifolia</i> - Australian Willow
Median Tree:	<i>Lagerstromia indica</i> "Natchez" - White Crape Myrtle

#### ETIWANDA AVENUE

Street Tree:	<i>Eucalyptus camaldulensis</i> - Red Gum
Back-up Tree:	<i>Pinus canariensis</i> - Canary Island Pine
Back-up Tree:	<i>Platanus acerifolia</i> - London Plane Tree

#### ARBOR LANE

Median Tree:	<i>Platanus acerifolia</i> "Bloodgood" - Bloodgood London Plane Tree
Parkway Tree:	<i>Pinus canariensis</i> - Canary Island Pine

#### GREENWAYS (PASEOS)

Main Tree:	<i>Geijera parvifolia</i> - Australian Willow
Accent Tree:	<i>Pyrus calleryana</i> "Aristocrat" - Aristocrat Ornamental Pear
Accent Tree:	<i>Rhus lancea</i> - African Sumac
Accent Tree:	<i>Cercis occidentalis</i> - Western Redbud

## RESIDENTIAL STREETS

<i>Cercis occidentalis</i>	Western Redbud
<i>Magnolia Grandiflora</i> "St. Mary"	St. Mary Southern Magnolia
<i>Geijera parvifolia</i>	Australian Willow
<i>Pyrus Calleryana</i>	Ornamental Pear
<i>Rhus lancea</i>	African Sumac
<i>Quercus ilex</i>	Holly Oak

## SHRUB AND VINES

Shrubs and vines within Landscape Maintenance District (LMD) areas shall be selected by the plant list provided by the City Engineering Division





## E. STREET NAMES

Streets should be named to reflect the overall design theme: Wine Country. The names must be assigned through the City's street naming process. Wine names, varieties, appellations as well as Cucamonga Valley and other wineries and related names should be considered. The following names illustrate the intent:

- Sauvignon Way
- Cabernet Avenue
- Viogneir Avenue
- Zinfandel Lane
- Chianti Road
- Port Place
- Angelica Avenue
- Merlot Road
- Pinot Noir Place
- Bordeaux Avenue
- Burgundy Street
- Chardonnay Way
- Winery Road
- Claret Street
- Sherry Avenue
- Syrah Street
- Shiraz Street
- Sangiovese Way
- Riesling Avenue
- Semillon Street
- Champagne Place
- Chenin Blanc Avenue
- Sauterne Street
- Rhone Avenue
- Pinot Gris Place
- Chablis Lane
- Beaujolais Way
- Meritage Avenue
- Pommard Way



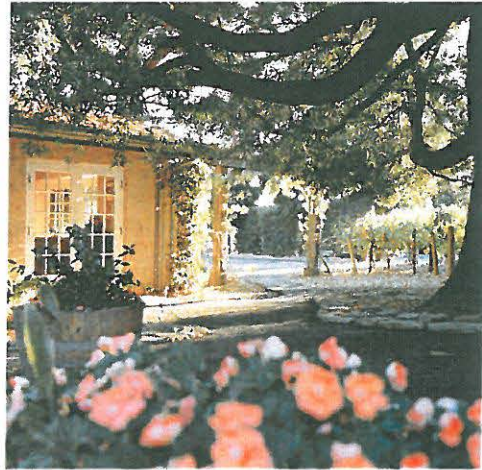


## COMMUNITY RECREATION & OPEN SPACE

### A. SCHOOL AND PARK LAND

As a village focus, Victoria Arbors has an Elementary School and Neighborhood Park complex. The park will function on its own as a separate entity (when school is in session), with its own children's play equipment area, picnic benches, parking and basketball court. The school will also function on its own, but will have access to some park facilities during school hours. However, park facilities will not be isolated for school use. The school-park complex is a community facility. The intent is for residents of the community to have access to all of the recreation facilities, play equipment areas, and play fields of both school and park after school hours; and to expand school play facilities during school hours. The intent is for the school's gymnasium/multi-purpose building to also be open to the community after hours.

The *School/Park Illustrative Plan* (Exhibit 15) is shown for illustrative purposes only. The school building and layout uses the Etiwanda School District's prototype school plan. The final school layout and design may differ from what is shown. Likewise, the park design shown illustrates what could occur on the site. Actual final design may be different than what is shown. The Parks Department will be responsible for determining what facilities will actually be included and for the final design.



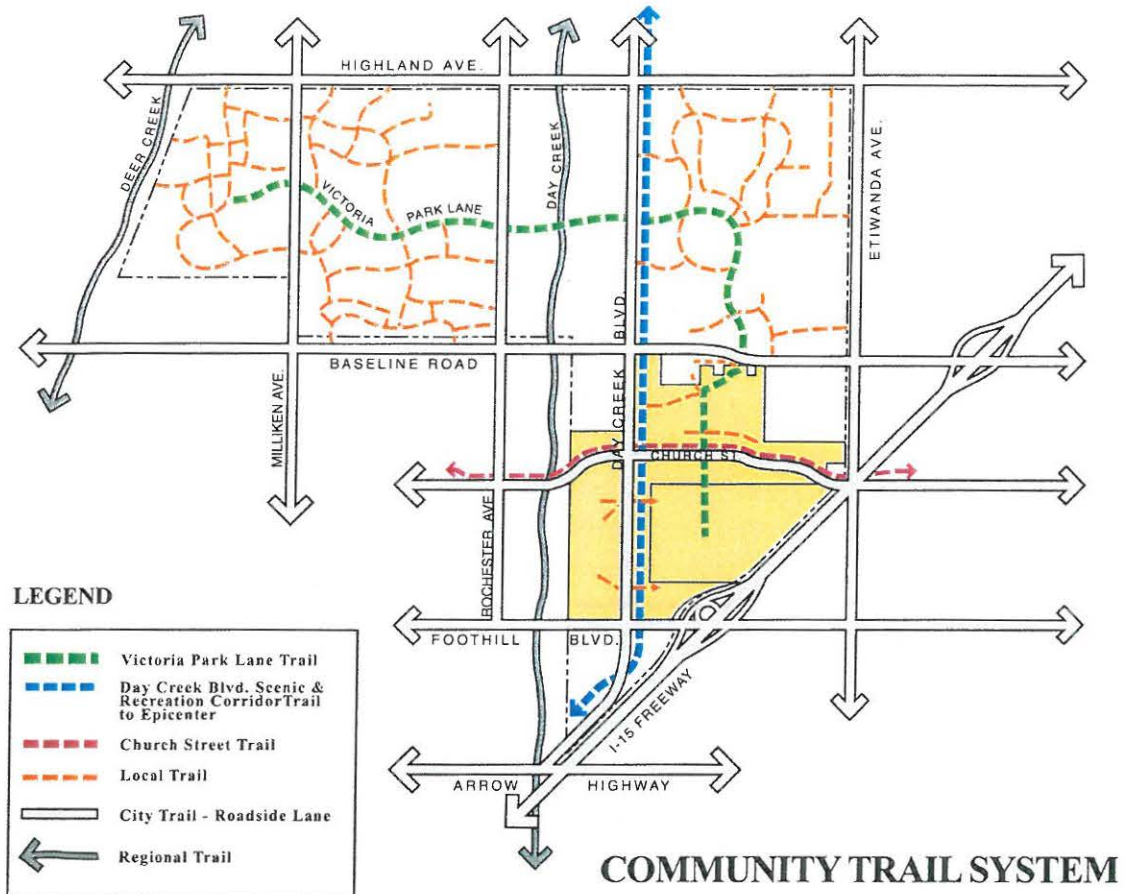


Exhibit 16

## B. PEDESTRIAN GREENWAYS, PASEOS AND TRAILS

The community of Victoria was designed as four villages connected by a linear park with trails (Victoria Park Lane Trail). Each village in turn has its own trail system (see *Community Trails Plan - Exhibit 16*).

In the case of the Village of Victoria Arbors, a system of greenways, paseos and trails will connect the residential neighborhoods to each other, to the central school/park, to the regional center with village green and town square, to a village commercial center and to several regional trails. These trails include the following:

- *Victoria Linear Park* - Victoria Linear Park connects each of the Community of Victoria's villages' central open spaces and, in turn, connects the residential portions of the community together. This park contains Victoria Park Lane, literally a "road within a park. The park has a rustic, natural feeling with informal tree masses and naturalized shrubs and grasses with meandering pedestrian and bicycle trails running its entire length. This linear park culminates in the Village of Victoria Arbors, at the Town Square in the Regional Center.

When this linear park reaches Victoria Arbors at Base Line Road, it transitions from rustic to a more urban, park-like setting as it traverses through the villages neighborhood park and becomes part of Arbor Lane, a "park within a road." Arbor lane is a unique, low-traffic boulevard with a 40 ft. wide pedestrian island as a median, and narrow 22 ft. paved area on either side, with one-way lanes and Class II bike trails. The pedestrian island will be planted with two rows of London Plane Trees, and the planting strip on both sides of the boulevard will have a formal row of Canary Island Pines.

- *Day Creek Blvd. Scenic/Recreational Corridor*  
This corridor contains a regional trail set in a required minimum 25 ft. wide parkway along its east side. It has an approved master plan, and the design and planting of this Victoria Arbors Master Plan is consistent with the approved plan. The corridor extends from Highway 30 to the north to below Foothill Boulevard to the south, culminating at the Epicenter Stadium and Adult Sports Park



**Walking Distance** - The typical maximum distance people are willing to walk rather than drive is approximately 1/4 mile. If the walk experience is pleasant and inviting this distance can be increased. The *Walking Distance Radii* map (Exhibit 14) shows the 3 main community elements (School/Park, Regional Center, and Winery/Village Commercial) each with a 1/4 mile radius around it. As can be seen, most of the residential community is within walking distance from each element.

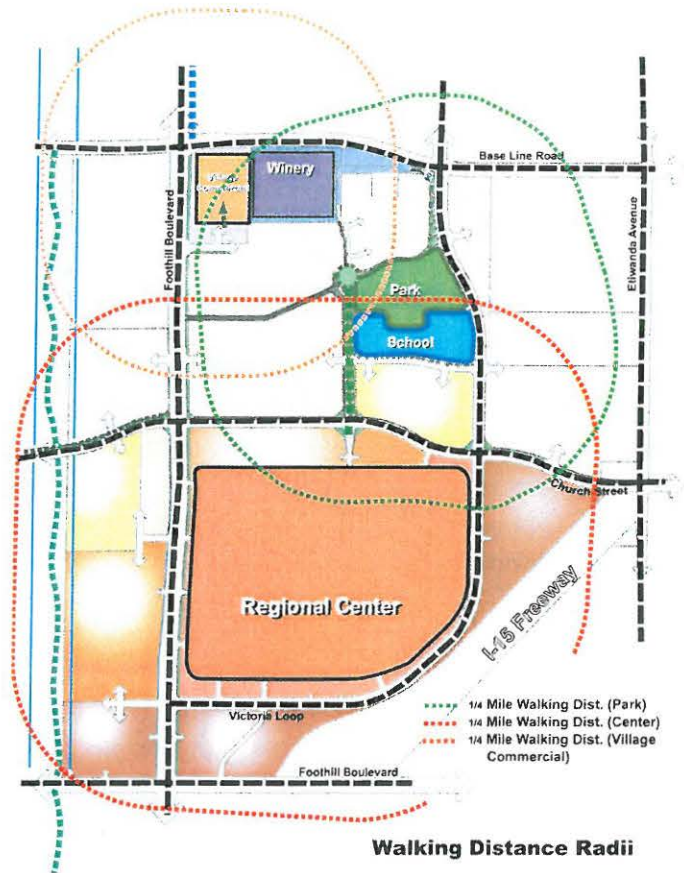


Exhibit 17

*Note: All trails and street crossings must meet the requirements of the Americans with Disability Act (ADA).*

- *Church Street Regional Trail* - This regional trail is accommodated in a 20 ft. wide greenway on the north side of Church Street.
- *Day Creek Channel Regional Trail* - This future trail will follow the Day Creek Channel within its easement.

**Greenways and Paseos** will typically be a minimum of 20 ft. in width, although many are 25 ft. Pedestrian connections from residential neighborhoods to regional trails and greenways that occur at road knuckles and cul-de-sacs, will be a minimum of 20 ft. in width.

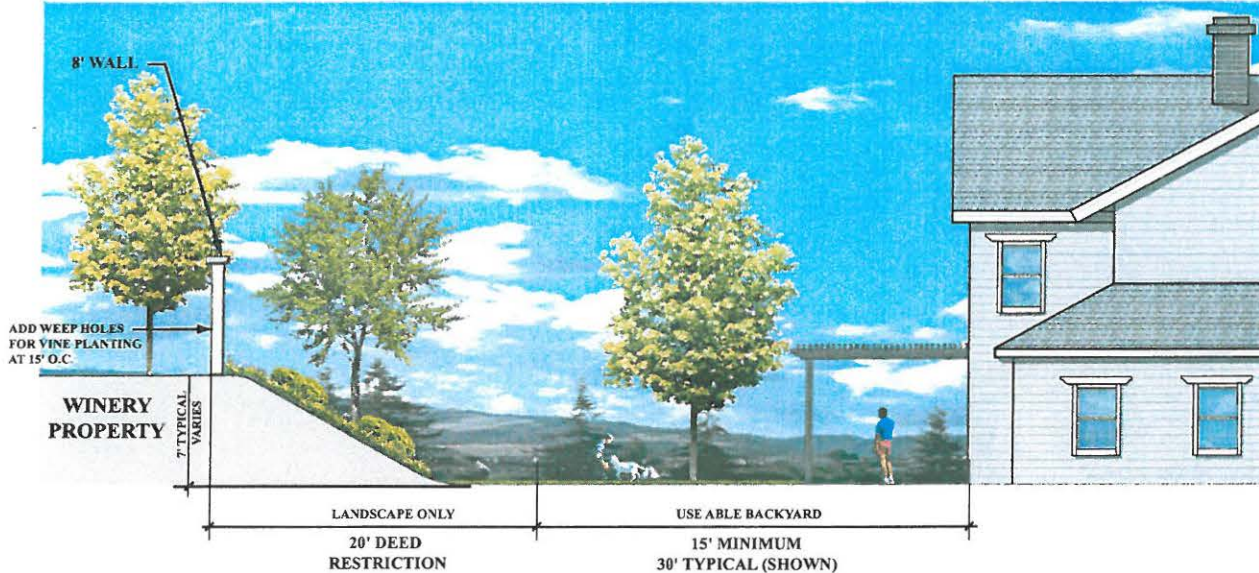


Exhibit 18

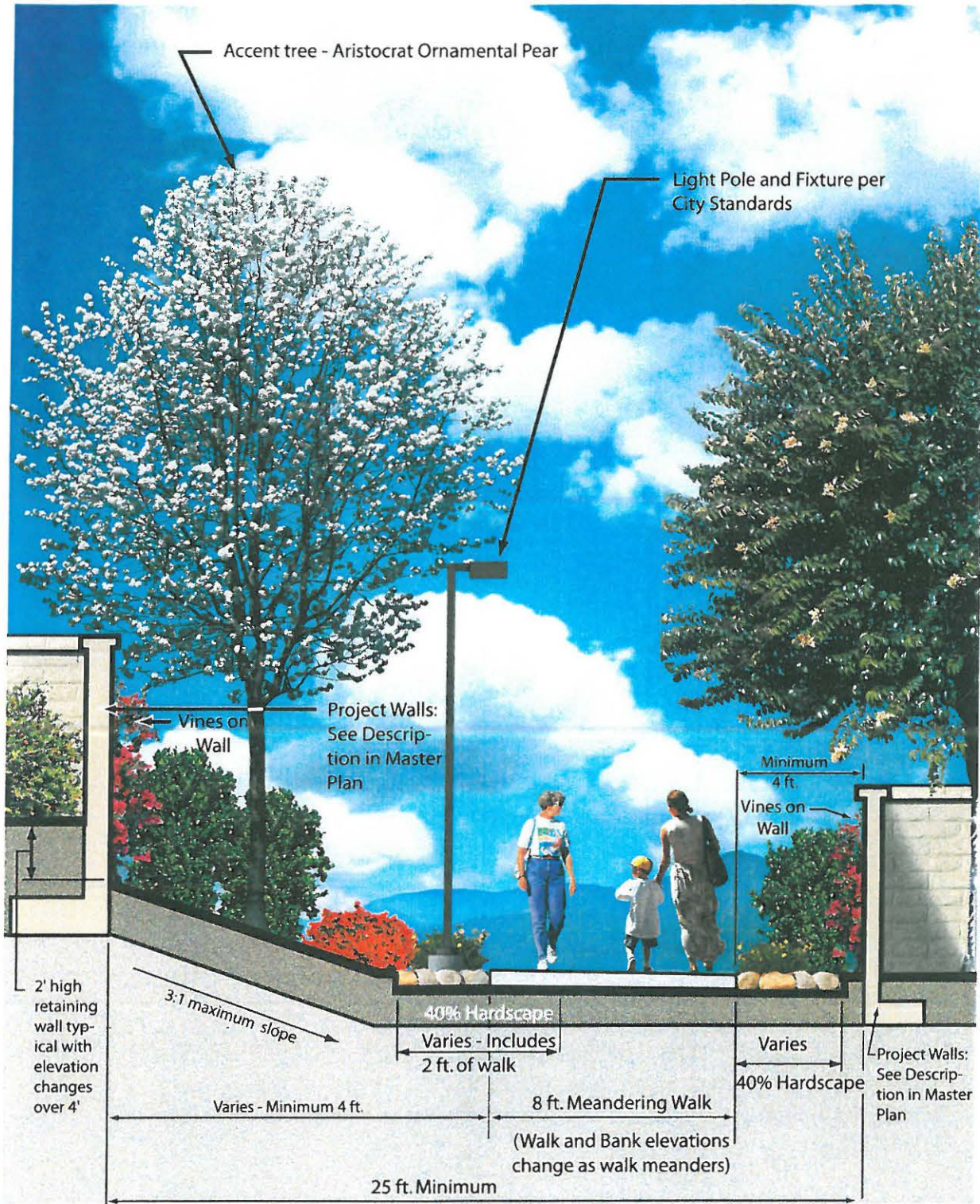
Buffer at Winery Property

## C. BUFFERS

Buffers will occur where residential areas abut commercial mixed use or the winery property.

- Where a residential road abuts a commercial/mixed use area, buffers will include an 8 ft. high wall and 20 ft. minimum landscaped area.
- Where a residential lot (back or side yard) abuts a commercial/mixed use area, the buffer will include an 8 ft. wall and the residential lot will have an extra 20 ft. of rear or side yard depth. This additional buffer area will have a deed restriction (CC&Rs), restricting buildings, pools, or any use except landscaping.
- Choice of plant species should be compatible with grapevines and will not impact the health of the vineyards.



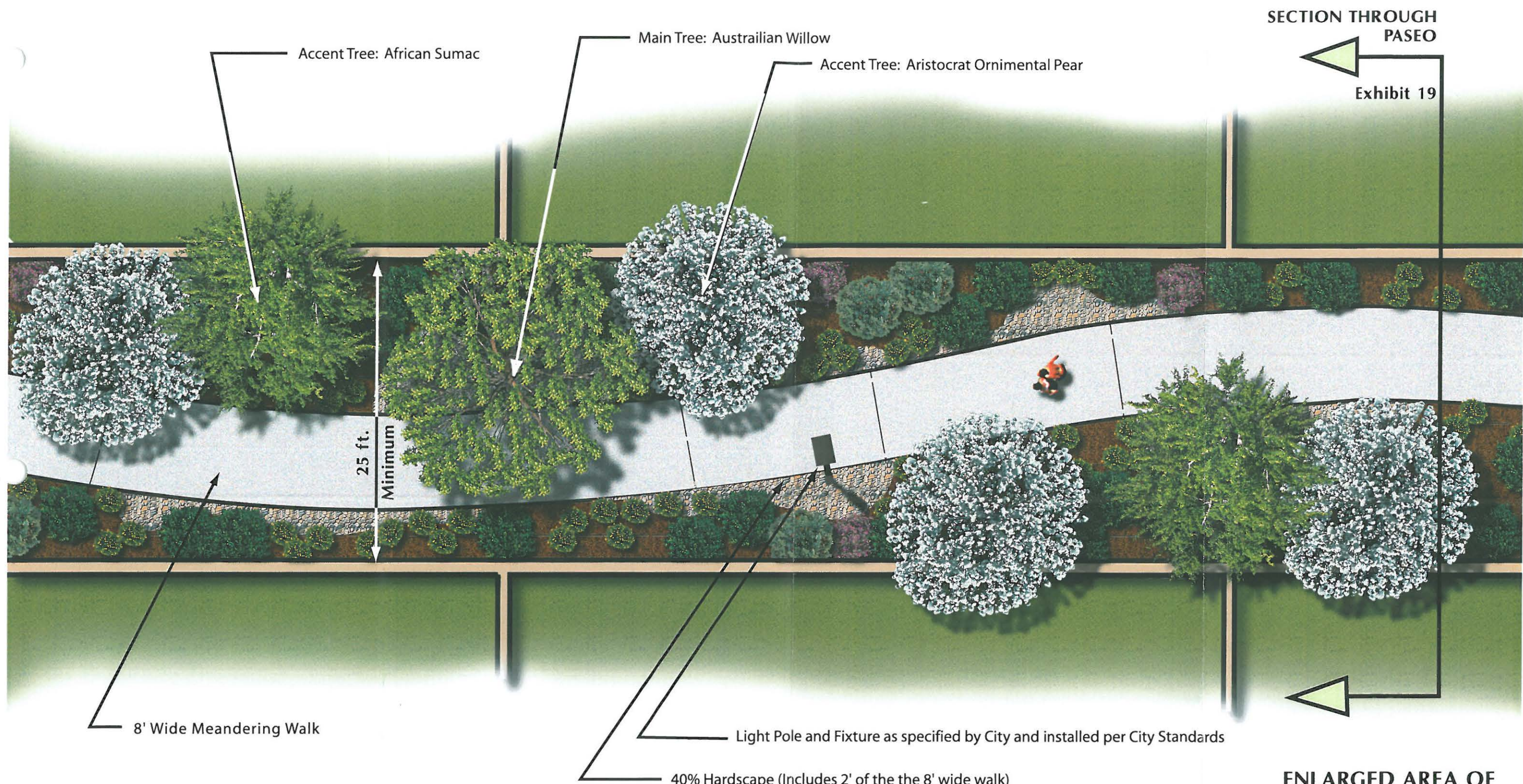


**Note:** See plant palette for Paseos (Greenways) Chapter 4, for tree selection. Shrubs and groundcover from City list of approved species.

## Typical Section through Paseo (Greenway)

Exhibit 19





SECTION THROUGH  
PASEO  
Exhibit 19

**NOTE: See Plant Palette for Paseos (Greenways) in Chapter 4 for tree selection.**

**Shrubs and groundcover from City list of approved species.**

**ENLARGED AREA OF PASEO (GREENWAY) PLAN**  
*Illustrative only*  
**EXHIBIT 20**





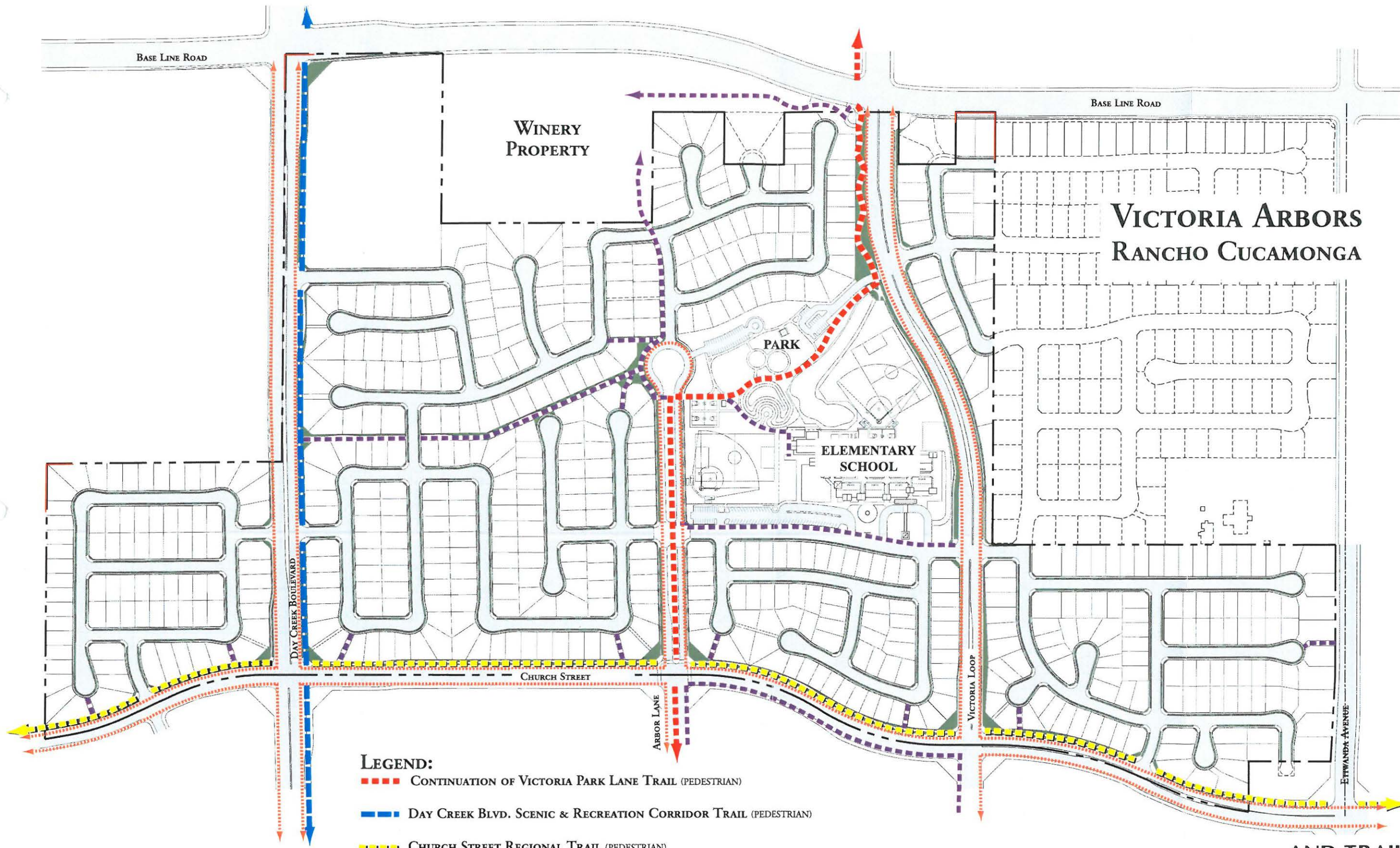
--- SCHOOL BOUNDARY

*This Exhibit is for illustrative purposes only. Final Design may change.*

## CONCEPTUAL SCHOOL AND PARK PLAN

EXHIBIT 21





**LEGEND:**

- ■ ■ ■ CONTINUATION OF VICTORIA PARK LANE TRAIL (PEDESTRIAN)
- ■ ■ ■ DAY CREEK BLVD. SCENIC & RECREATION CORRIDOR TRAIL (PEDESTRIAN)
- ■ ■ ■ CHURCH STREET REGIONAL TRAIL (PEDESTRIAN)
- ■ ■ ■ LOCAL TRAIL CONNECTIONS
- ● ● ● BIKE LANE (CLASS II)

**PARK AND TRAILS PLAN**

**EXHIBIT 22**





TREES NOT SHOWN

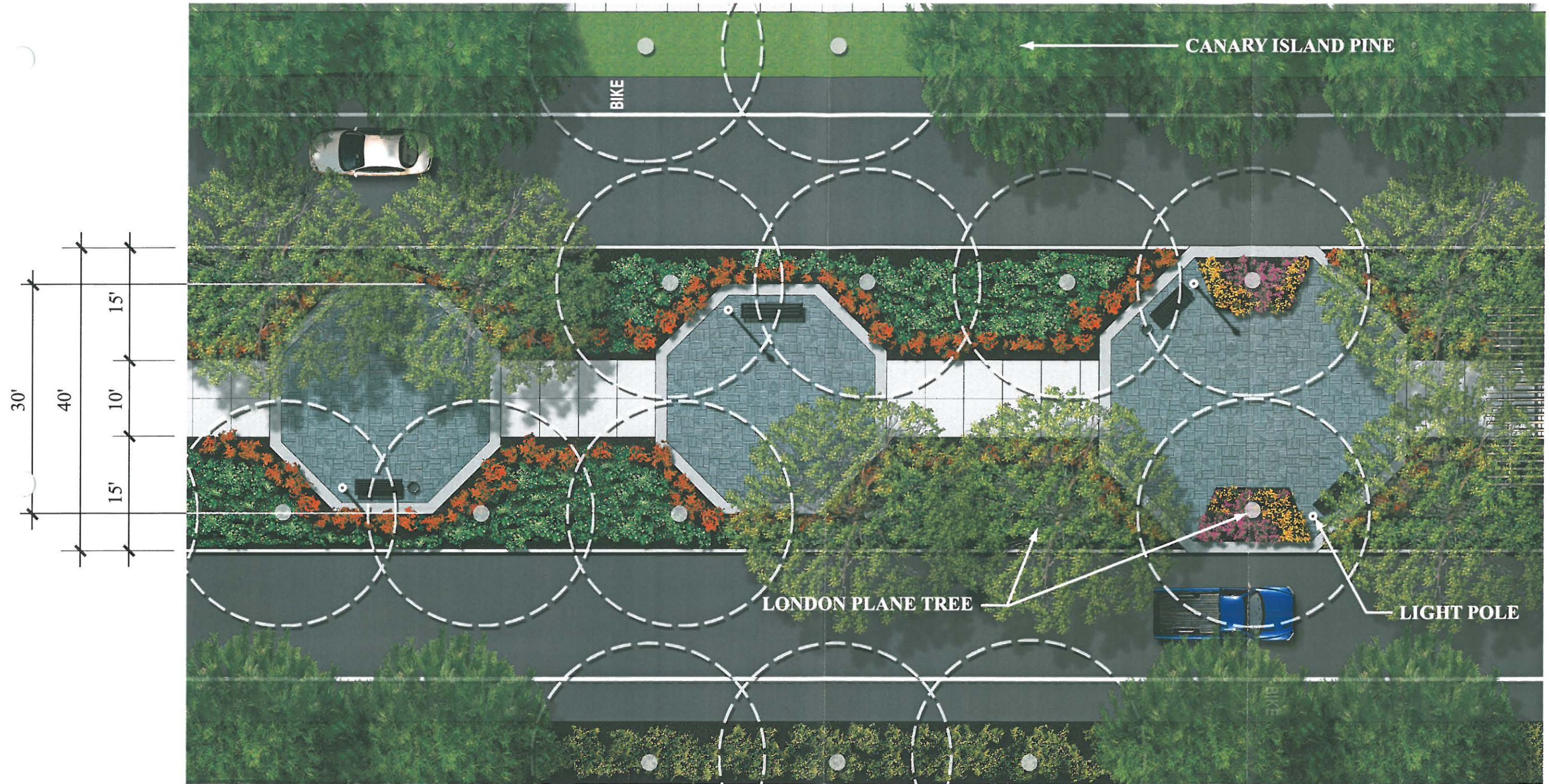


TREES SHOWN

**ARBOR LANE  
ILLUSTRATIVE PLAN**  
*Illustrative only*

**EXHIBIT 23**





**ENLARGED AREA OF  
ARBOR LANE ILLUSTRATIVE PLAN**  
*Illustrative only*

**EXHIBIT 24**





**PHOTO MONTAGE**  
**Arbor Lane**  
**Looking North**  
*Illustrative only*

**EXHIBIT 25**





**EXHIBIT 26**

**PHOTO MONTAGE**  
**Arbor Lane**  
**Pavillion**  
**Looking North West**  
*Illustrative only*





**PASEO (GREENWAY)  
BETWEEN ARBOR LANE  
& WINERY ENTRANCE**

*Illustrative only*

**EXHIBIT 27**



## SITE PLANNING GUIDELINES

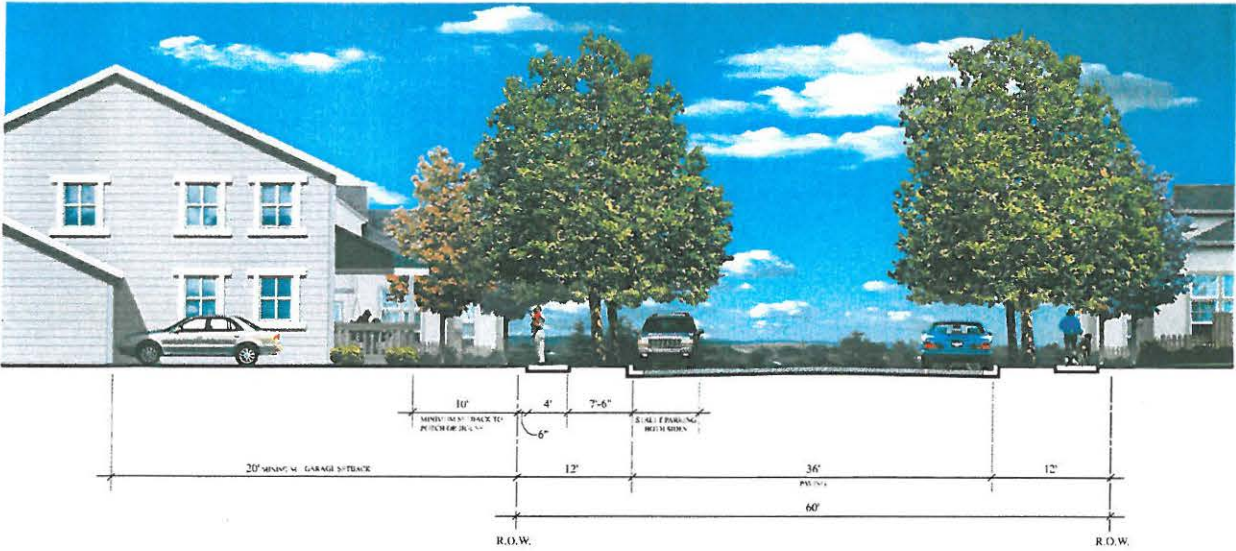
## A RESIDENTIAL STREETSCAPES

The design intent is to create residential streets that accommodate both the automobile and people. The residential neighborhoods in Victoria Arbors are connected to each other and to the school-park, regional center, winery and village commercial area by a system of greenways or paseos. The roadways within each neighborhood must provide pedestrian connections from each home to the greenways, in a comfortable manner.



TYPICAL RESIDENTIAL STREET PLAN  
EXHIBIT 28





**TYPICAL RESIDENTIAL STREET SECTION**  
**EXHIBIT 29**

Residential Streets must be perceived intimate and safe for pedestrians. Intimate-feeling streets tend to calm traffic and make a more peaceful neighborhood. Standard 60' ROW's with 36' of paving can be made to seem much narrower, human-scale and pedestrian-friendly by doing the following:

- Homes with porches should be set back a minimal distance from property line (10') and as illustrated above.
- The majority of garages should be set back from the street, be side-in, or entered off of side-drives. (See Parking, below)
- Street trees should be planted between curb and sidewalk to make street feel more intimate, and shelter pedestrians.

## B. PARKING, DRIVE AND GARAGE ALTERNATIVES

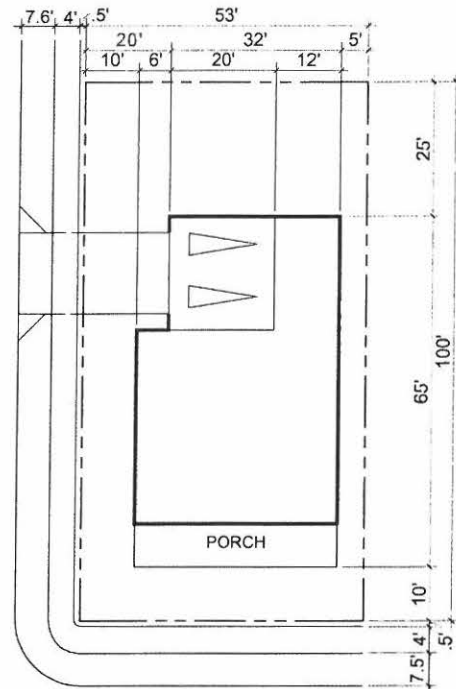
An objective of this Master Plan is to make residential streets more pedestrian-friendly. A major component of successfully achieving that objective is to reduce the actual and perceived presence of the automobile. The impact of garage doors as part of the house facades lining streets, particularly on lots less than 70' wide, greatly increases the presence of the car.

There are three practical methods to reduce this impact: 1) Set the garage back further from the street, 2) Turn the garage to the side to reduce visibility of the door from the street, and 3) Enter the garage from the back or side of the house. These guidelines show several alternatives that use the three methods to achieve impact reduction from the typical straight-in 20 ft. setback situation. The applicants may devise other variations and alternatives for consideration by the City of Rancho Cucamonga.

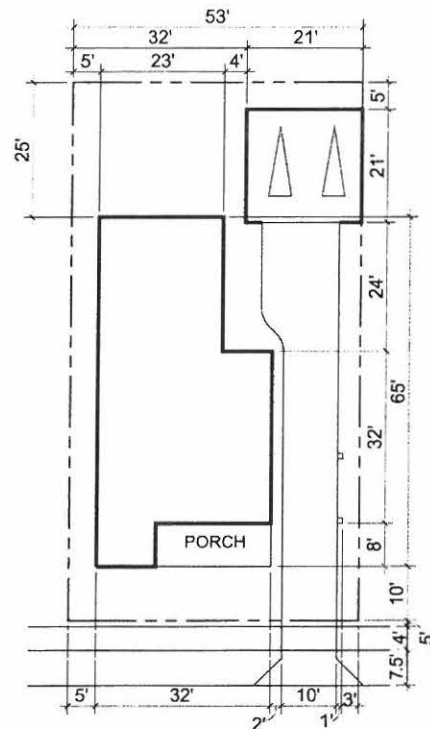
### Requirements

65% of all single family detached homes must use the approved alternatives to reduce garage door impacts (as illustrated in Exhibit 32). The percentage of alternative garage/driveways may be reduced to 55% by utilizing balconies, garage door insets or other architectural treatments to reduce visual impact of straight-in garages as seen from the street.

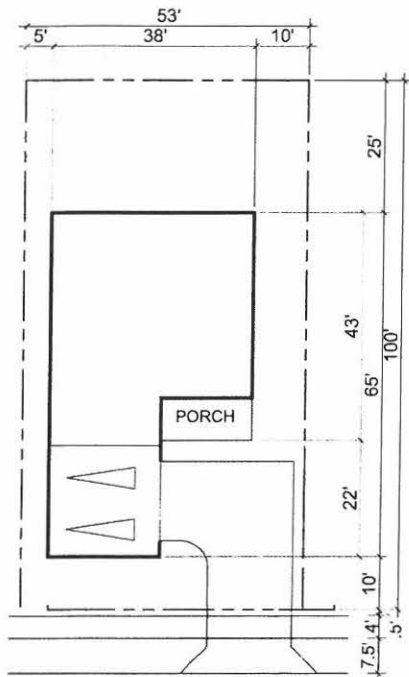
- Alternative 1 - Side-in on corner lots  
Entering from the side street on corner lots removes the garage door and driveway from the streetscape.



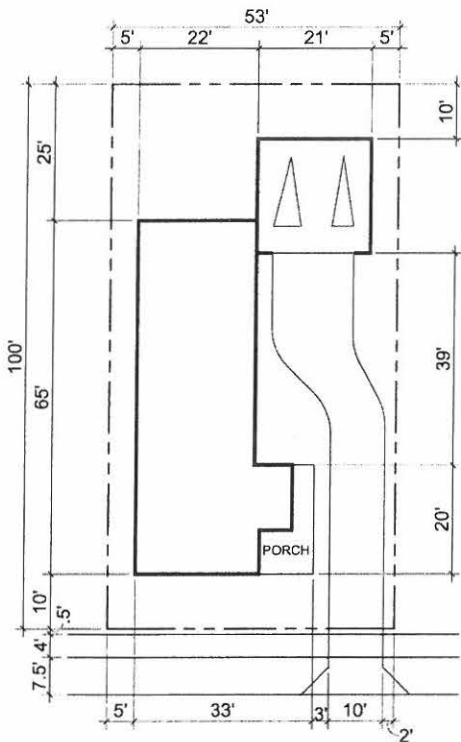
**ALTERNATIVE 1  
EXHIBIT 30**



**ALTERNATIVE 2  
EXHIBIT 31**



**ALTERNATIVE 3**  
**EXHIBIT 32**

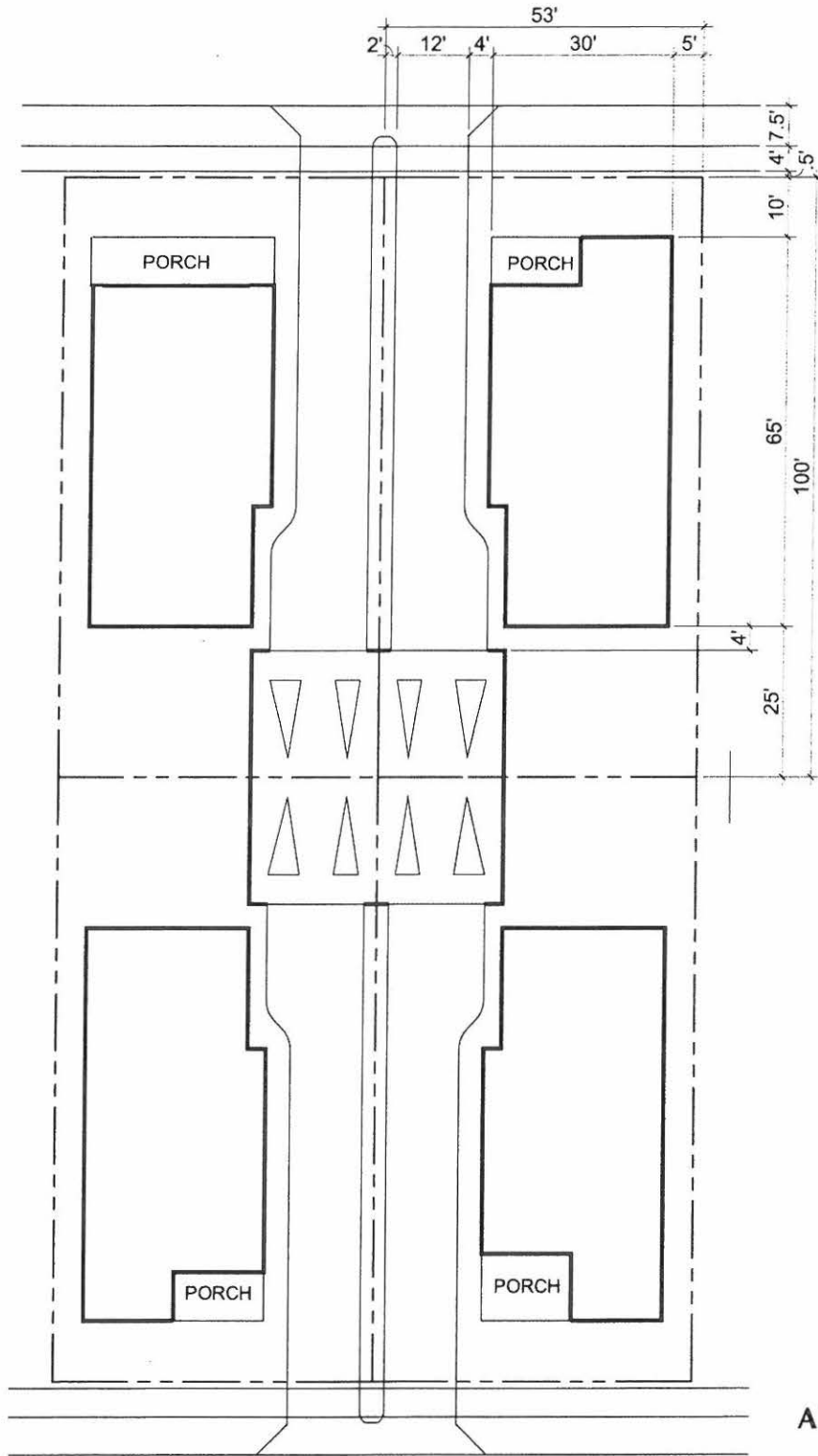


**ALTERNATIVE 4**  
**EXHIBIT 33**

- Alternative 2 - Push-back detached garage. Pushing the garage into the back yard and detaching it from the house. The garage becomes an outbuilding, allowing smaller setbacks from property lines, and the garage door is far removed from the front streetscape.
- Alternative 3 - Side-in Garage. By turning the garage 90° to the street and entering from the site, visibility of the garage door is significantly reduced.
- Alternative 4 - Push-back attached garage. By pushing the garage to the back of the house, the garage door is removed from the front streetscape.
- Alternative 5 - Combined detached garages pushed to back property line. Built in pairs or a quad, this alternative combines garages into one structure located at the very back of each lot.
- Alternative 6 - Side shared-drive access. This alternative works particularly well on collector side streets. Two or four garages are accessed from a short, shared drive on the side.
- Other alternatives - Applicants are encouraged to devise other alternatives or variations that have the same effect of reducing the impact of garage doors.

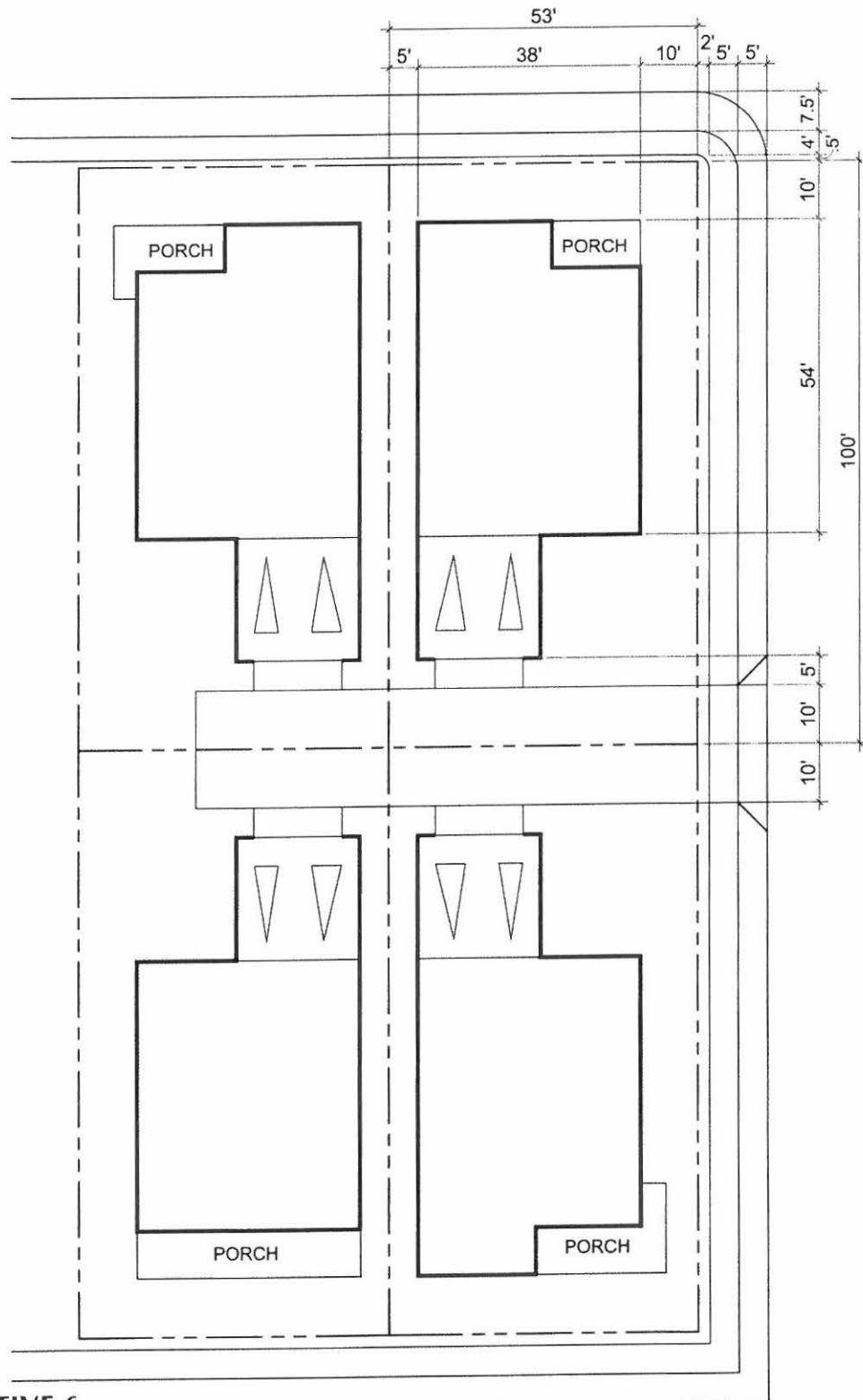
### 3. SETBACKS

See Setback Table, Chapter 3. Page 3-4



**ALTERNATIVE 5  
EXHIBIT 34**





**ALTERNATIVE 6**  
**EXHIBIT 35**



**EXAMPLE MIX OF DRIVEWAY/GARAGE ALTERNATIVES**





**EXAMPLE OF WRAP-AROUND PORCH  
EXHIBIT 37**

**SITE PLANNING GUIDELINES FOR  
MULTI-FAMILY RESIDENTIAL**

Multi-family Residential site planning shall follow the City of Rancho Cucamonga Residential Design Guidelines and the Multi-Family Development Standards in the City of Rancho Cucamonga Development Codes. Multi-Family architectural design shall be consistent with the guidelines and standards found in Part II., Multi-Family Residential Architecture, Chapter 7, Architectural Guidelines of this Master Plan document.

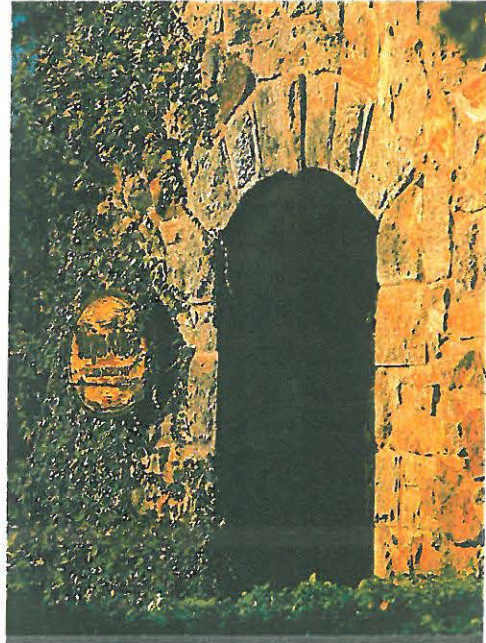
**SITE PLANNING GUIDELINES FOR MIXED-  
USE COMMERCIAL**

Mixed-Use Commercial site planning shall follow the City of Rancho Cucamonga Commercial Design Guidelines and the Commercial Development Standards in the City of Rancho Cucamonga Development Codes. Commercial architectural design shall be consistent with the guidelines and standards found in Part V., Mixed-Use Commercial Architecture, Chapter 7, Architectural Guidelines of this Master Plan document

## ARCHITECTURAL GUIDELINES

As has been reiterated in this master plan, the Village of Victoria Arbors is a very special place in Rancho Cucamonga. It is important that all parts of this Village, including residential neighborhoods, reflect an overall design theme and project the unique identity of Victoria Arbors.

To accomplish this goal, these guidelines have been written to support and reinforce the theme of wine country. To assure instant recognition that a visitor has entered Victoria Arbors, some specific architectural elements will be required as a part of all buildings. In the case of residential buildings, these architectural icons will be the porch and trellis. All houses must have a porch and/or trellis as part of its design. Depending on style, balconies with balustrades are strongly encouraged. Outdoor courtyards will be an important part of homes in Victoria Arbors. Additionally, no red barrel tile roofs are allowed in Victoria Arbors (this in itself will set Victoria Arbors apart in Rancho Cucamonga). The following guidelines discuss these requirements and others in detail.



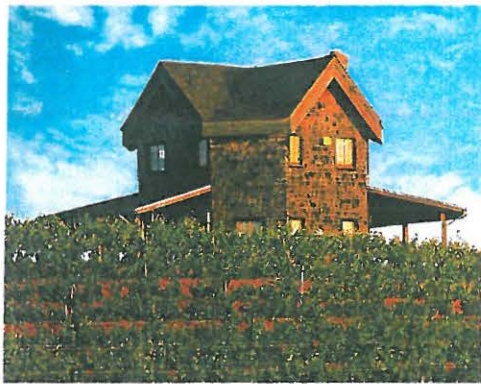
### I. RESIDENTIAL ARCHITECTURE

#### A. SIZE AND MASSING

Buildings should be simple, rectilinear volumes, one and two stories in height, well articulated with window/door treatments, balconies, dormers, porches and trellises.



**Note:** The photographs on the following four pages are intended to capture and display the character of actual period houses of desired styles. It is not intended that they be replicated.



*Farm House with European Influence*



*Provencal Farm House*

## B. CHARACTER AND STYLE

The overall architectural character in Victoria arbors *will reflect the theme: Wine Country*. In addition to historical Rancho Cucamonga, wine country refers to Napa and Sonoma Valleys, as well as wine producing areas in Europe - particularly in France and Italy. These regions should be a source of inspiration for design and development of Victoria Arbors. These areas are agrarian, and buildings range from farm houses to estates and villas; arranged in rural hamlets to tightly clustered agrarian villages. Houses and buildings in Victoria Arbors should reflect these influences.

Certain styles are prohibited. “Santa Barbara” style with white or pink stucco walls and shallow-pitched red tile roofs, of which there is an overabundance in Southern California, is prohibited in Victoria Arbors, as are the Spanish Colonial styles with similar characteristics. The use of red barrel tile is prohibited.

European and Mediterranean influenced architecture is encouraged, particularly from France and Italy. Monterrey style architecture is an acceptable Spanish-influenced architecture. Craftsman and English Cottage/Bungalow styles are also appropriate.

Buildings shall include characteristics of single styles and not mix them. They must include enough of the materials, elements and details to reflect the character of the style. In encouraging styles, it is not the intent of these guidelines, to have the architecture replicated. Rather, it is to encourage designers to capture the feeling and character of the style in a contemporary way, by using appropriate roof mass and pitch,

architectural shapes, materials and details of such elements as windows, doors, dormers, porches, trellises and balconies.

#### FRENCH INFLUENCE:

French Provincial houses tend to be square and symmetrical. They resemble small manor homes with massive hipped roofs and window shutters. Frequently, tall second floor windows break through the cornice. French style houses usually have these features:

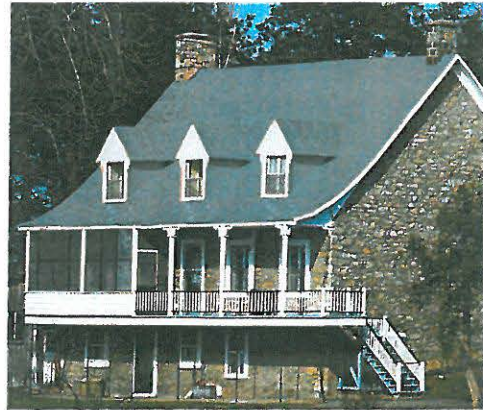
1. Brick, stone, stucco or horizontal siding
2. Hipped roof
3. Flared eaves
4. Dormers
5. Multi-paned windows

Some also have:

6. Decorative half-timbering,
7. Round tower at entryway
8. Arched doorway



*House with French Influences*



*Country Home in French Quebec*

#### ITALIAN INFLUENCE:

Italianate homes look to the country villas of northern Italy for its inspiration. Young English touring the Continent in the early 1800's took note of the stimulating forms of the medieval Italian fortresses with their high military towers and asymmetrical masses. Such structures were seen as alternatives to the classical architecture of the Italian Renaissance, the classical architecture preferred by their parents and grandparents. When these young English came into their own money, they often would build country homes in the new Italian style. This Italian style was noticed by Americans who built more modest variations.

The style is characterized by a rectangular massing of the body of the house, often arranged picturesquely into asymmetric blocks to imitate the sprawling look of centuries-old villas in Italy



*Italianate Home*





*Italianate Home*

that had been modified and enlarged by many generations. The style also features:

1. Low-pitched, often flat roofs
2. Stucco, stone or horizontal siding
2. Heavy supporting brackets under the eaves, often elaborately carved
3. Windows with heavy hoods or elaborate surrounds.
4. The style often features a square tower or cupola, in which case it is sometimes referred to as "Tuscan".
5. Brackets (corbels)
6. Projecting eaves



*English Cottage*

## ENGLISH COTTAGE/BUNGALOW

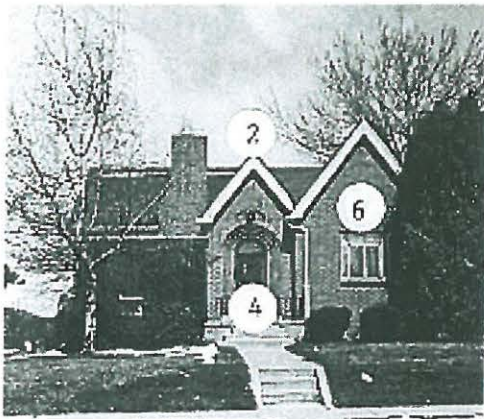
### English Cottage

The English or Norman Cottage is a one story structure generally composed of brick, stucco or occasionally stone. The most distinguishing feature is the steeply pitched roof and steeply pitched projecting front entrance. Many cottages have arched or straight-headed picture windows on the front facade, but other fenestration is limited. Windows are occasionally casements divided by heavy metal mullions. Decorative brickwork, arched entrances, and small paned windows are also characteristic.

Popular during the 1920s and 1930s, these small one-story homes were considered an alternative to the Bungalow.

Defining characteristics:

1. Steeply pitched roof
2. Steeply pitched gable entrance
3. Decorative brickwork
4. Arched entrance
5. Stucco exterior



*English Cottage*

6. Casement windows
7. Large front picture window
8. Small paned windows

## Bungalow

Following the tradition of the Craftsman movement which stressed utility and simplicity, the Bungalow became a symbol of the movement with its low, overhanging roof, broad porches, and simple horizontal lines. Identified as the most common example of Craftsman architecture, the Bungalow spread quickly across the country during the early 20th century.

The typical Bungalow is a one or one-and-one-half story, wood or masonry structure with a gently pitched, front or side gable roof. An additional gable occasionally covers an open porch and the overhang is usually supported by battered or “elephantine” porch piers or thick columns. Some Bungalows have clipped gables, shed dormers, or exposed rafter ends, but almost all have a front porch.

1. Front gable roof
2. Exposed rafter ends
3. Shed dormer or sloping dormer
4. Large front porch with battered piers
5. Clipped gable
6. Extended overhang
7. Brick, stucco or horizontal siding
8. Brackets (corbels)
9. Arched windows



*Bungalow*



*Bungalow*



*Bungalow*





*Simple, Nicely Detailed Porch*



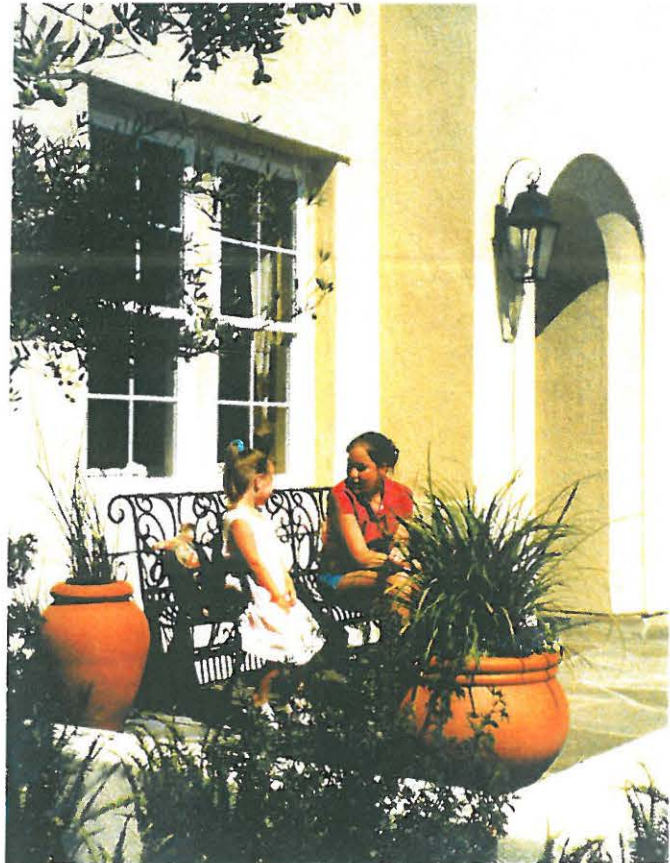
*Sheltered Entrance is Integral with Building.  
Note Trellis on Chimney*



*Nicely Detailed Porch and Railing*



*Beautifully Fenestrated Entrance*



*Entry Patio Instead of Porch*



## C. PORCHES

When they are set back a modest “conversational” distance from the sidewalk, porches allow persons to sit on their porch and interact and socialize with their neighbors. They therefore add safety (by putting “eyes on the street”) and friendliness to the street. As a result, porches contribute to a enjoyable walk by pedestrians in the neighborhood. Architecturally, porches add an interesting, inviting element and additional fenestration to a building.

Porches (and/or other acceptable design features that would replace the function of a porch, such as balconies) are a required element on each residential building in Victoria Arbors. The exception to the required porch is an outdoor courtyard or patio with trellis or arbor, that has the same relationship to the street/sidewalk as a porch. However no more that 40% of the homes in any given neighborhood may replace the porch with a courtyard and trellis. Following are porch requirements:

- The porch must be integrated into the architecture of the front of the building and must not appear as an appendage fastened to the building facade.
- The minimum depth of ground level porch shall be 8’
- The minimum square footage for private open space in the form of balconies, porches, courtyards, trellis or a combination of them shall be 7 percent of the gross floor area of the house product up to a maximum of 200 square feet.



*Simple Porch with Arched Openings*



*Bungalow with Well Used Porch*



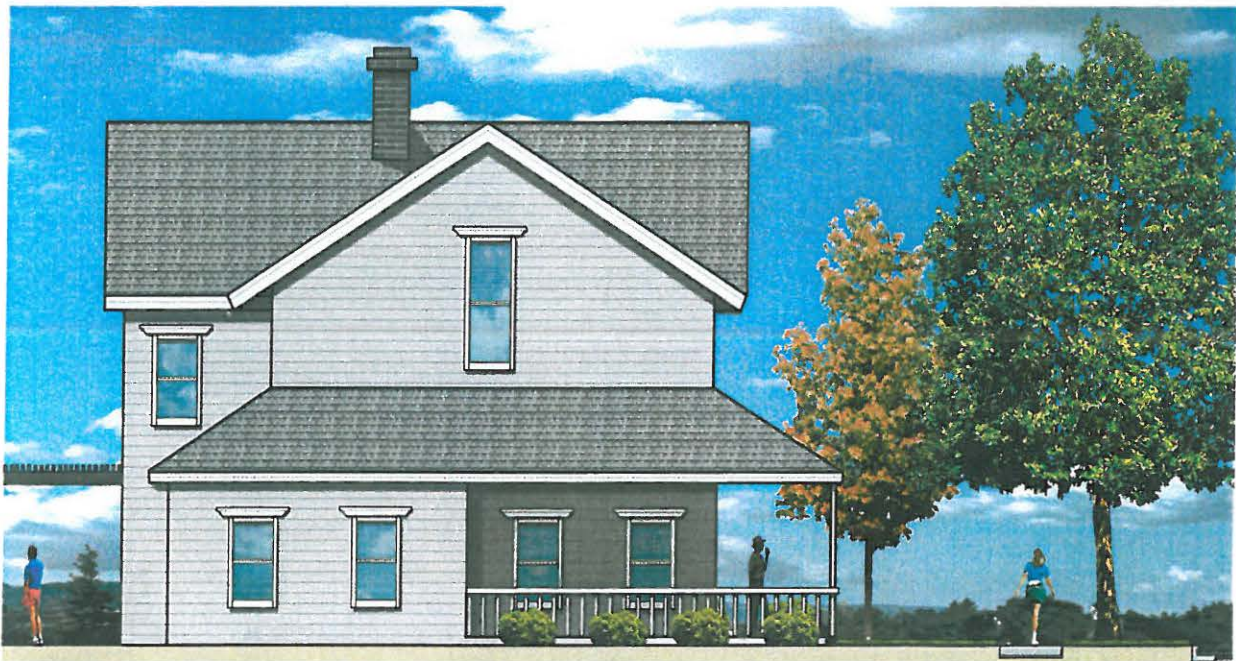
*A Large Porch - Good Building Detailing*



*Freestanding Trellis over Sidewalk*



- When possible, the porch shall wrap around the side of the building (note: an open porch may intrude into the larger side setback). The wrap-around portion may be less than 6' in depth.
- Porches must occur at the front of the house as close as practicable to the sidewalk



*Exhibit 33*

**EXAMPLE OF HOUSE WITH WRAP-AROUND PORCH**

## D. TRELLISES & ARBORS

Trellises are technically a structure upon which plants and vines may be trained. As used in these guidelines, trellises take many forms: vertical trellises used to esplanade plants on walls, patio covers, porte cochers, pergolas, gazebos and arbors. The use of vines on the trellises or trellis structures is encouraged. Vines planted on trellises and arbors reflect the wine country theme, even if the vines are ornamental rather than grapes.

If a courtyard is used in lieu of a porch, it shall include a trellis, preferably taking the form of an arbor or shade structure over the court or patio. The courtyard must relate to the street, much as a porch does.

### 1. MATERIALS

Trellises are traditionally constructed of wood. However, unless properly sealed, painted and maintained, wood is not a good material for Rancho Cucamonga. The dry climate, sun and wind, termites and rot destroy natural and stained wood outdoor structures. If wood must be used, it should be pressure preservative treated and painted.

Appropriate materials that will hold up to the elements better than wood include steel, plastic/fiber materials specifically made for outdoor structure use, and for larger structures, concrete finished to look like wood. These will last many times longer than wood.

### 2. COLORS

Trellises should be painted or finished in natural wood colors, or colors matching or compatible with the building or trim color.



*Trellis as Porte Cochere  
Note Grass Drive Strip*



*Freestanding Arbor over Walk*



*Garden Arbor*



## E. BALCONIES AND WINDOW TREATMENT



*A Small but Usable Balcony*

Balconies are a part of many styles of architecture, and can range in size from small decorative balustrades to large, inviting verandas. They add detail and fenestration to buildings, and provide an alternative, sheltered outdoor space to relax, have a drink or watch a sunset.

The many examples shown here, include balconies in combination with porches, wrought iron balustrades, and usable verandas.

Window treatment is an important element in defining architectural styles and providing detail to buildings. Whether it is recessed or protruding, multi-paned or single paned, rectangular or arched, framed or not, all make a difference in the building character. The window treatment should be consistent with the style of architecture.



*A Wrought Iron Balcony Overlooks  
This Entrance Court*

## F. ROOFING

Roofing is also important in establishing the character of architecture. Many of the buildings in Southern California - most in Rancho Cucamonga - have red tile roofs. In the interest of adhering to the “wine country” character and encouraging European influenced architecture, red tile roofs are prohibited in Victoria Arbors. The following requirements apply to this Village:

- Prohibited Roofing - Red barrel tile roofs are prohibited in Victoria Village. Wood shingles or shakes and standard asphaltic roll roofing or shingles are prohibited.
- Roof Pitch - Steeper pitched roofs are encouraged (depending on the chosen

architectural style), using appropriate forms to match the chosen European style.

- Allowed Material - Roof material must be tile, slate, lightweight concrete, or other substantial, long-lasting material approved by the City of Rancho Cucamonga.
- Color - Roof material to be blue-grey, grey or earth-toned, and fit with the chosen architectural style.
- Massing - Roofs shall be fenestrated and varied with changing ridges and rooflines and features such as dormers, cupola, conical roofs, intersecting gable, valley, etc. consistent with the architectural style.



*Window Treatments add Interesting Detail and Define Style*



*Balcony Provides Shelter over First Floor Doors*



*Use of Shutters and Relief make an Elegant Statement*



## FENCES AND WALLS

Fences and walls make an important visual impact in the community. They also provide security, privacy and sound attenuation.

### Fences

With the exception of play field fencing, fences will primarily be used between homes

- Wooden fences should be avoided due to poor weathering qualities and susceptibility to strong winds that are prevalent in Rancho Cucamonga. Wood fences can be used only between houses in conditions where they cannot be seen from any public road. They must be constructed to City standards.

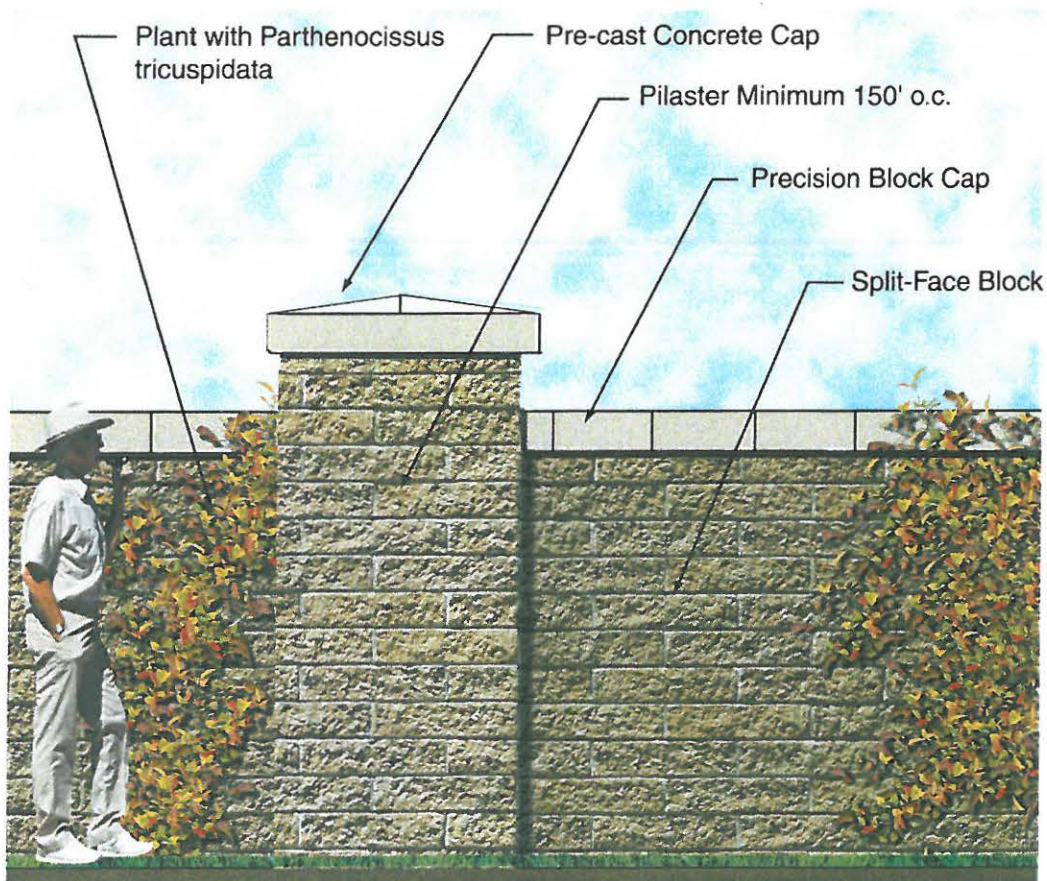


Exhibit 38

VICTORIA ARBORS THEME WALL

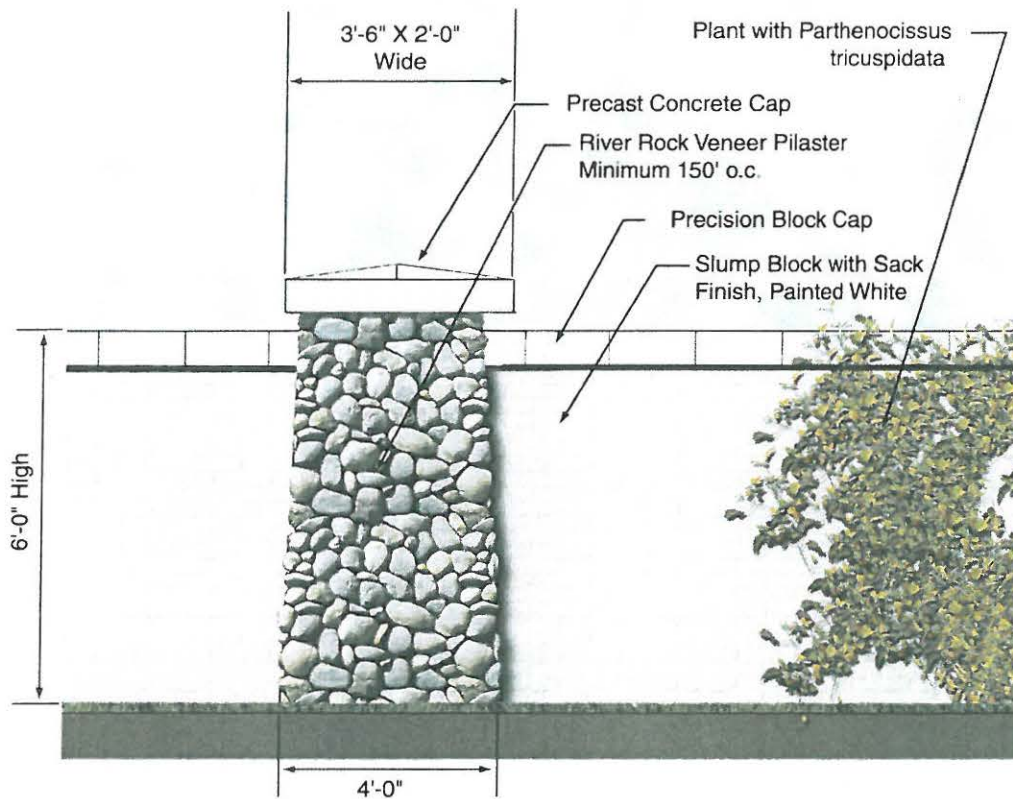


Exhibit 39 DAY CREEK BOULEVARD THEME WALL

- Wrought iron fencing is acceptable around and between parks and schools as security fencing. Walls shall be used where park or school back up to residential use.

### Walls

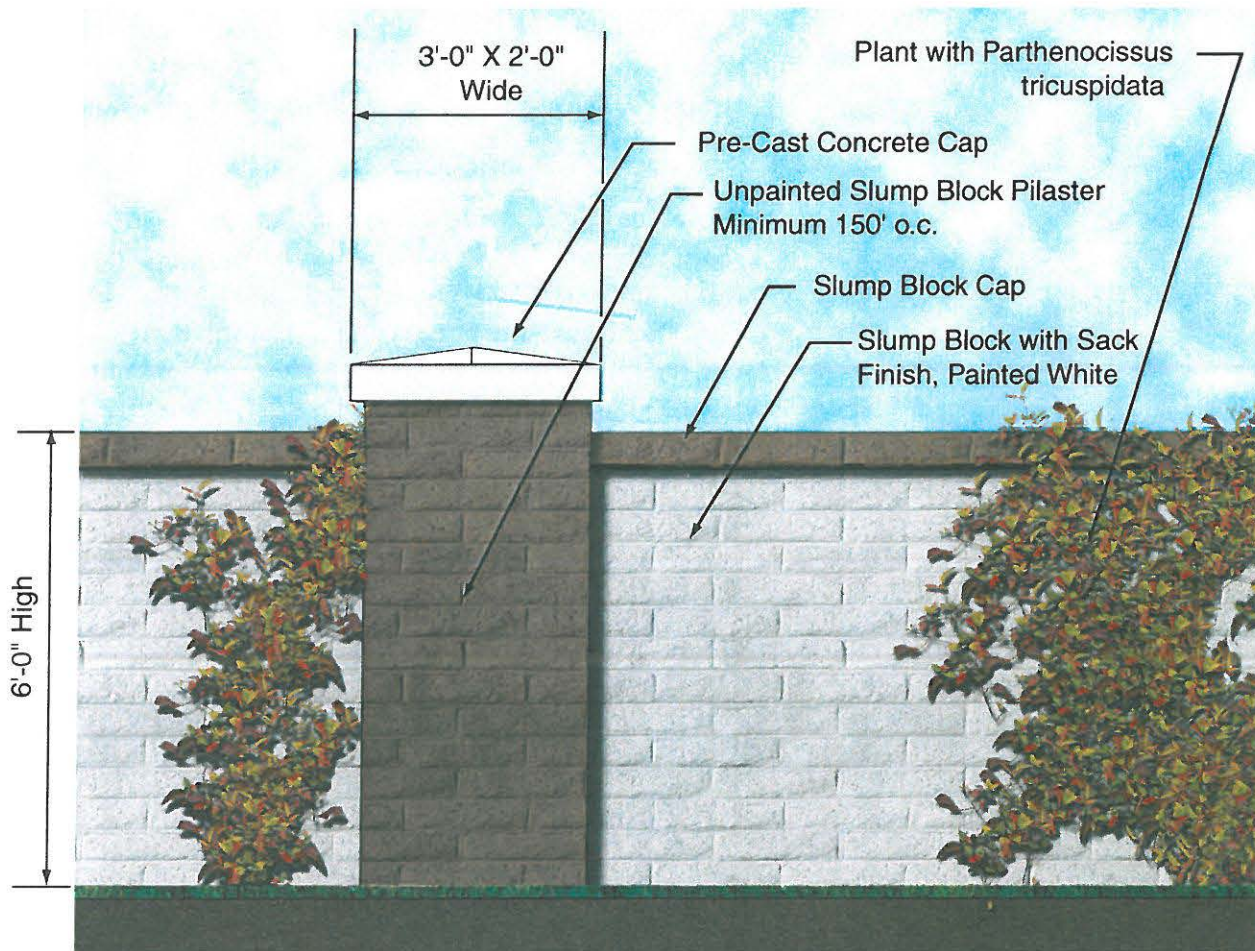
There are several types of walls used in Victoria Arbors, including perimeter/community walls, sound-attenuating walls, and project walls, low walls. All walls exposed to public streets shall be planted with vines to fit with the wine country theme and to reduce graffiti.

- Victoria Arbors Community Walls - These walls will occur along the interior Victoria Arbors collector streets and along Arbor Boulevard at residential uses. These walls will vary from 6' to 8' in height, depending on



location. They will be constructed of earth toned heavy-textured split-faced block with precision-block cap, and pilasters of the same material, but a half-block thicker in depth and six inches higher than the wall with a pre-cast concrete cap.

- Victoria Theme Walls - These walls will match those found throughout the Community of Victoria, and will occur along Base Line Road, Victoria Park Lane, and Church Street. These walls will be constructed of slump stone, painted white, with slumpstone pilasters occurring every 150 ft. The pilasters along Base Line Road will be constructed of river rock.
- Sound-Attenuating Walls - These walls are identical in material and construction to walls along the street where they occur, but may be of a height necessary to reduce roadway noise to an acceptable level.
- Residential Project Walls - These walls shall be designed to be both consistent in materials and colors with the architecture of each project, and reflect the overall Victoria Arbors theme.
- Low Walls - Low walls (36"-42") create intimacy and may be used to enclose commercial areas, and may be used to separate public/private spaces. They will be the same materials or construction as the project walls or perimeter walls they adjoin.
- Residential Return Walls - These walls occur where walls and fences between houses return to the building wall, and are visible from public streets. They shall not be of wood, and must be compatible to the house architecture in design, color and materials.



*Exhibit 40*

## VICTORIA THEME WALL





GOOD EXAMPLE OF ITALIAN/MEDITERRANEAN STYLE MULTI-FAMILY

## II. MULTI-FAMILY RESIDENTIAL ARCHITECTURE

The multi-family portions of Victoria Arbors should also reflect the character of “Wine Country.” Many of the elements required and encouraged for single-family residential architecture in Victoria arbors also apply to attached homes. The following apply to multi-family:

### Prohibited Styles and Materials:

“Santa Barbara” style with white or pink stucco walls and shallow-pitched red tile roofs is prohibited, as are the Spanish Colonial styles with similar characteristics. The use of red barrel tile is prohibited.



TUSCAN-STYLE MULTI-FAMILY WITH WINDOW TREATMENT, BALCONIES AND TRELLIS  
TRAMONTO, LAKE NEVADA RESORT



**Encouraged Styles:**

European and Mediterranean influenced architecture is encouraged, particularly from France and Italy. Monterrey style architecture is an acceptable Spanish-influenced architecture.

**Porches:**

While porches are not practical on medium-high and high-density housing, they may be applicable on certain low-medium attached product, and are encouraged when possible.

**Trellises and Arbors:**

These structures are architectural icons within Victoria Arbors and must be included within multi-family projects. They are a good structural element to give human scale to large multi-family buildings. They can be used vertically to esplanade plants on walls, horizontally as shade structures above entrances and windows and as independent structures within the landscape.

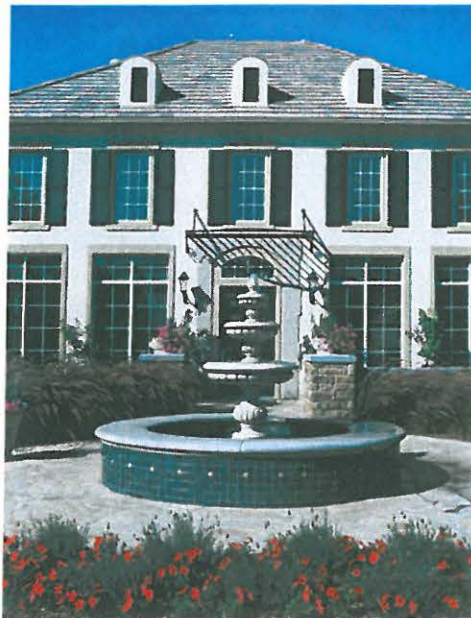
**Balconies and Window Treatment:**

Balconies add detail and fenestration to buildings and provide alternative, sheltered outdoor space within which to relax. The various balconies, verandas and balustrades shown earlier in this chapter can apply to multi-family structures as well as single-family homes.

Window treatment is an important element in defining architectural styles and providing detail to buildings. The window treatment should be consistent with the style of architecture.

**Roofing:**

Roofing is also important in defining architectural styles and character. All of the roofing requirements and guidelines found earlier in this chapter also apply to multi-family.



MEDITERRANEAN STYLE MULTI-FAMILY WITH DORMERS AND GOOD WINDOW TREATMENT



RECREATION CENTER WITH TOWER AND INTERESTING WINDOW TREATMENT



RECREATION CENTER WITH GAZEBO, ARCADE AND GOOD WINDOW TREATMENT



### III. VILLAGE COMMERCIAL/ WINERY ARCHITECTURE (Mixed Use Village Commercial)



*Golden Vine Winery*



*Filippi Winery Property*



*Filippi Winery*



*Filippi Winery Sales Room*

The Mixed Use Village Commercial area of Victoria Arbors is contiguous to the historic Elena (now Filippi) Winery. The Village Commercial and Winery properties must be master planned at a more refined level as one project, although they may be processed and developed separately. It is necessary for these properties to work out shared access points, internal vehicular and pedestrian connections and pedestrian space connections. Therefore, it is necessary for the arrangement and placement of buildings on both properties to be appropriately integrated to facilitate these shared connections.

When completed the two properties should visually and functionally appear as one element. Grocery stores, drug stores, restaurants and other community and neighborhood-serving uses fall under Village Commercial category (See Chapter 3 - Land Use). It is expected that the winery property will continue to operate its winery and wine sales outlet, and to supplement that with one or more restaurants as well as shops and other related uses.

*The theme of this area will be a winery estate, with a working winery.* The historic portion of the winery building and related winery operation buildings will all be functioning out-buildings.

It has been determined through a historic survey that the winery site is historically significant - representing some of the last physical remnants of Cucamonga Valley's rich cultural past. The buildings are of industrial/agrarian architecture. They evolved through a series of functional, non-descript additions. It is assumed that most

of the existing sheds and secondary buildings will be removed over time as the winery property develops. It is also expected that the winery buildings) that remain will be improved within historic preservation limitations.

## A SIZE AND MASSING

The architectural design of the Village Commercial area shall be one and two story buildings (excepting towers or other architectural features which may be three stories) with trellises over walkways, arcades and openings that create interest, and relate to a human scale.

- \* Larger buildings must be brought down to pedestrian scale through the use of covered entrances, trellises, arbors and other scale-reducing elements.
- \* All sides of the buildings should receive adequate enrichment and fenestration through the use of window/door treatments, dormers, and other methods of adding building fenestration, detail and interest. Special landscape treatment, including training of vines on walls and trellises can also break up the visual impact of large buildings.

## B. CHARACTER AND STYLE

New buildings in the village commercial area will reflect the Winery Estate theme. This style could be the Early California Monterrey theme, or French or Italian influenced estates or villas. Many of the



*Sterling Winery*



*St Jean Winery  
With Italian  
Influences*



*Heitz Cellars*





wineries in Napa and Sonoma Valleys have been built to capture the European winery character; others have captured early Californian flavor. Either is acceptable on this site.

### C. PEDESTRIAN OPEN SPACE

- \* Pedestrian open spaces should possess a human scale and incorporate trellises and arbors with vines, and period cast iron and steel furniture for outdoor seating and enjoyment.
- \* Awnings are permitted to provide accent to the buildings; however, trellises are preferred.
- \* Small tower elements at corners are encouraged.
- \* The use of wine making artifacts such as manual grape crushers as elements to enrich the pedestrian spaces is encouraged. The use of winery-related materials in the landscape, such as wine barrels for trash containers, is also highly encouraged.



*Character photos on this page are from the Golden Vine Winery exhibit at Disney California Adventure and the St Jean Winery Restaurant.*





Exhibit 41

**PHOTOMONTAGE OF SOUTH WINERY ENTRY**  
**THIS GRAPHIC ILLUSTRATES ENTRY CHARACTER ONLY**  
**FINAL DESIGN MAY DIFFER**  
**(SEE EXHIBIT 43 FOR LOCATION)**

**IV. MIXED USE COMMERCIAL**  
 (South of Church St., West of Day Creek Blvd., and North of Foothill Blvd.)

This area includes Regional Related Commercial and Mixed Use Commercial. The streetscape design along Foothill Blvd. shall be consistent with The Foothills Blvd. Route 66 Visual Improvement Plan. The streetscape design along Day Creek Blvd. shall be consistent with the Day Creek Blvd. Master Plan and Chapter Four - Community Landscape Guidelines in this Victoria Arbors Master Plan.



ST FRANCIS WINERY





BURK RANCH- NOTE USE OF ARBORS WITH VINES AND ROOF TREATMENT.

The architecture of Regional Related and Mixed Use Commercial should reflect the theme of “Wine Country” to the degree possible. The following elements that apply to Village Commercial, also apply here:



CHARLES KRUG WINERY - NOTE ROOF TREATMENT, WINDOW TREATMENT AND MATERIALS.



THE MUMM WINERY - NOTE USE OF ARCADES TO BRING BUILDING DOWN TO PEDESTRIAN SCALE.

**Size and Massing:** The architectural design of these commercial areas may be one and two story buildings excepting decorative architectural features (which are encouraged) that may be three stories. Trellises over walkways, arcades or openings that create interest and relate to human scale are strongly encouraged.

- Larger buildings must be brought down to pedestrian scale through the use of covered entrances, trellises, arbors and other scale-reducing elements

- All sides of the buildings should receive adequate enrichment and fenestration through the use of window/door treatments, arbors and other methods of adding building interest and reduction of scale. Special landscape treatment, including training of vines on walls and trellises can also break up the visual impact of large buildings.



JORDAN WINERY - GOOD EXAMPLE OF TRAINED VINES ON BUILDING



KORBEL WINERY - EXAMPLE OF TRAINED VINES ON BUILDING

- Larger commercial buildings should capture the character of large winery buildings, which typically reflect European architecture with simple forms, vines trained on walls and interesting entry features.



LA FONDA WINERY



## IV. PUBLIC AND COMMUNITY FACILITIES

Public and Community Facilities in Victoria Arbors include a Neighborhood Park, Linear Parks or Paseos, an Elementary School and landscaping in public rights-of-way.

Design and development of public and community facilities and open space must also reflect the Victoria Arbors design theme: wine country. This means that landscaping in the school and park should reflect the landscaping theme elsewhere in the project (landscaping in public rights-of-way are discussed in Chapter 4). Buildings in the neighborhood park (shade structure and rest room) should include trellis or arbor elements. School buildings must also include trellis elements. Any visitor traveling through the community should be aware they are in Victoria Arbors, because of the consistency in use of materials and continuity of design, including public spaces.

**RESTROOM TO INCORPORATE TRELLIS ELEMENT TO FIT  
VICTORIA ARBORS THEME**

**BUILDING TO BE OF COLORED  
TEXTURED, SPLIT-FACED BLOCK**



*Exhibit 42  
Illustrative Only*

**PARK RESTROOM PHOTO-MONTAGE  
Looking Southwest**



SHADE STRUCTURE WITH  
TRELLIS ELEMENT TO FIT  
VICTORIA ARBORS THEME

SPLIT FACE BLOCK COLUMNS TO  
MATCH RESTROOMS



*Exhibit 43*  
*Illustrative Only*

**PARK SHADE STRUCTURE PHOTO- MONTAGE**  
**Looking Southeast**



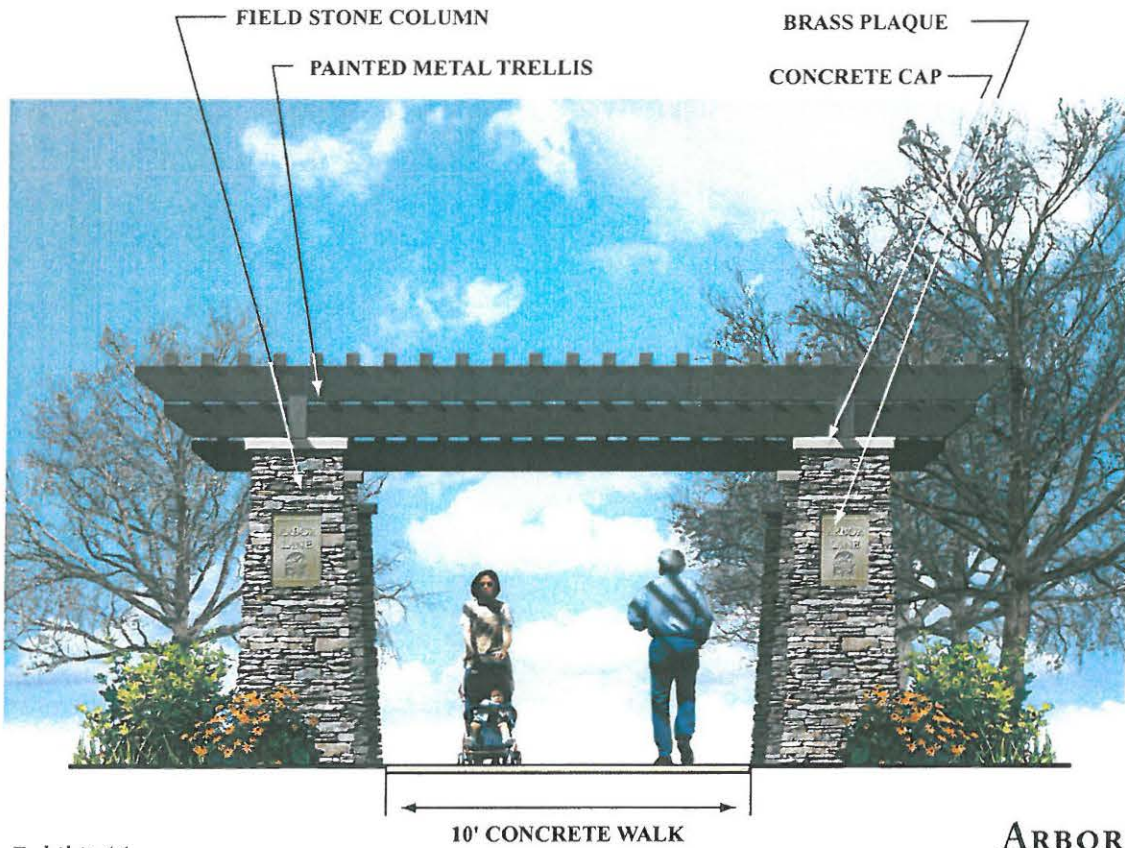


Exhibit 44  
Illustrative Only

**ARBOR**  
AT END OF ARBOR LANE

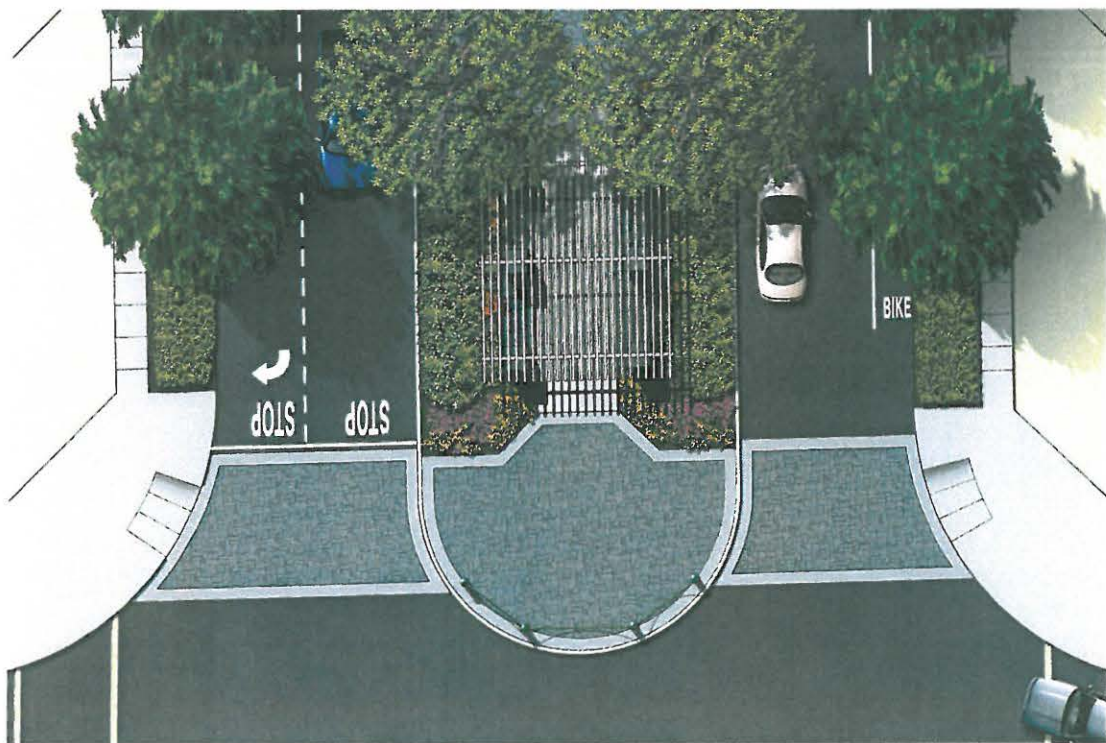


Exhibit 45  
Illustrative Only

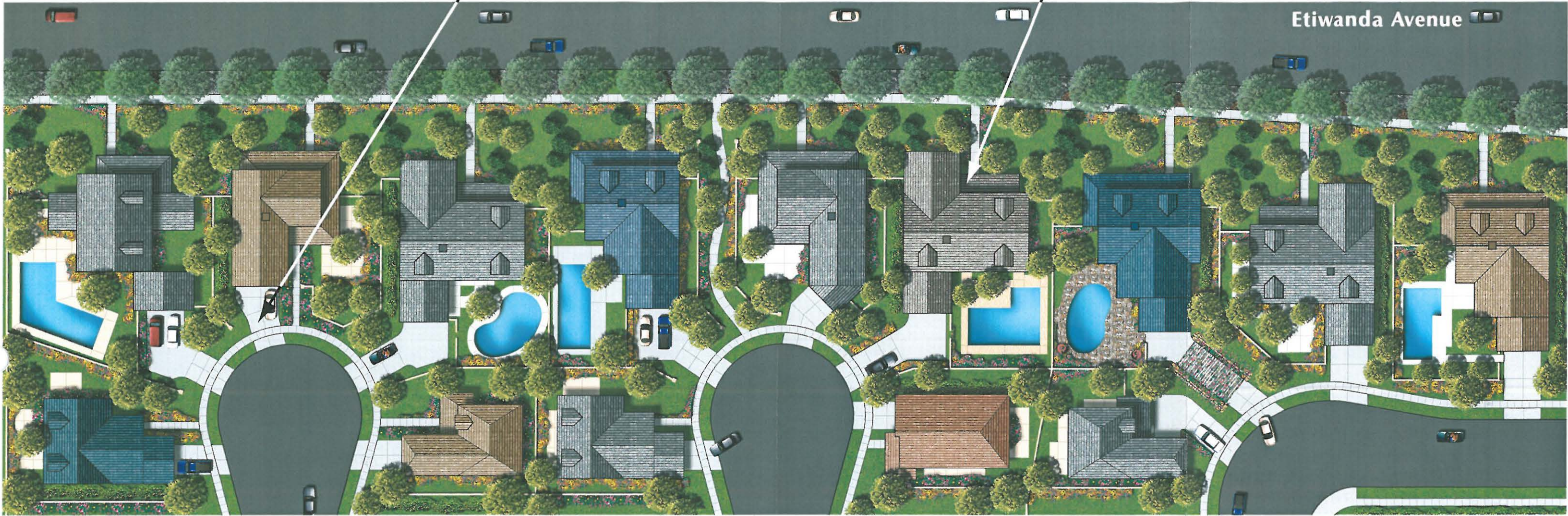
**ILLUSTRATIVE PLAN OF ARBOR LANE AT CHURCH STREET  
SHOWING ARBOR LOCATION**







Houses Face on Etiwanda Avenue  
but Have Automobile Access from the Rear



**ETIWANDA  
ILLUSTRATIVE  
LOTTING PLAN  
EXHIBIT 46**





**WINERY  
PROPERTY**

Photo-Montage of  
South Entry to Winery  
(Exhibit 41) from here

Base Line Road

Victoria Loop

Neighborhood Park

School Fields

Park Fields

Elementary School

Exhibit 23

Arbor Lane

Church Street

**MIXED USE  
MULTI-FAMILY  
RESIDENTIAL**

**MIXED USE  
MULTI-FAMILY  
RESIDENTIAL**

**OPEN SPACE ILLUSTRATIVE PLAN  
EXHIBIT 47**



# APPENDIX

## RESOLUTIONS

---





RESOLUTION NO. 01-23

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, APPROVING DEVELOPMENT REVIEW NO. 01-04 FOR A RESIDENTIAL MASTER PLAN FOR VICTORIA ARBORS ON APPROXIMATELY 300.64 ACRES, LOCATED IN THE MIXED USE DISTRICT OF THE VICTORIA COMMUNITY PLAN, GENERALLY BOUNDED BY BASE LINE ROAD TO THE NORTH, ETIWANDA AVENUE TO THE EAST, FOOTHILL BOULEVARD TO THE SOUTH, AND DAY CREEK CHANNEL TO THE WEST – APN: 227-201-04, 13 THROUGH 18, 22, 28 THROUGH 31, 33, AND 36; 227-161-28, 31, 33, 35, 36, AND 38; 227-171-08, 11, 12, 20, 22, 23, AND 25; AND 227-211-40.

A. Recitals.

1. American Beauty Development Company filed an application for the approval of Development Review No. 01-04 as described in the title of this Resolution. Hereinafter in this Resolution, the subject Development Review request is referred to as "the application."

2. On July 7, 1999, the City Council adopted Resolution No. 99-148 Certifying the Environmental Impact Report for a development project known as the Victoria Arbors Village as complete and adequate and in compliance with the California Environmental Quality Act. On December 20, 2000, the Council adopted Resolutions No. 00-266 and 00-267 and Ordinances No. 648 and 649, approving the related General Plan Amendment 98-02, Victoria Community Plan 98-01, and Etiwanda Specific Plan 98-01 and approving the Statements of Facts and Findings and Overriding Consideration. Subsequently, the City received a Development Review application as described above.

3. On February 14, and continued to February 28, and March 7, 2001, the Planning Commission of the City of Rancho Cucamonga conducted a meeting on the application and concluded said meeting on that date.

4. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:

1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon the substantial evidence presented to this Commission during the above-referenced meeting on February 14, and 28, and March 7, 2001, including written and oral staff reports, this Commission hereby specifically finds as follows:

a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, Foothill Boulevard to the south, and Day Creek Channel to the west; the site is presently vacant, unimproved land.

b. The property to the north of the subject site consists of existing single-family residential and a commercial center within the Windrows Village of the Victoria Community Plan; the



property to the south consists of vacant, unimproved property with a Regionally Related Commercial designation; the property to the east is vacant, unimproved land with a Low-Medium Density Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor, and existing single-family residential development commonly referred to as the Rochester Tract with a Low-Medium Density residential designation

c. The proposed master plan establishes and arranges the land use and open space pattern, establishes the development standards and design guidelines for single family and multi-family development and commercial development.

d. The proposed project is consistent with the General Plan Mixed Use District as further defined in the Victoria Community Plan.

e. The proposed project conforms to the standards and regulations in the Victoria Community Plan.

f. The proposed project will comply with the environmental mitigation listed in the EIR document entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" and is incorporated herein by this reference.

3. Based upon the substantial evidence presented to this Commission during the above-referenced meeting and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. The proposed project is consistent with the objectives of the General Plan; and

b. The proposed use is in accord with the objectives of the Victoria Community Plan and the purposes of the district in which the site is located.

c. The proposed use is in compliance with each of the applicable provisions of the Victoria Community Plan.

d. The proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

4. Based upon the facts and information contained in the proposed Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," together with all written and oral reports, the Planning Commission finds that there is no substantial evidence that the project will have a significant effect upon the environment based upon the findings as follows:

a. That the Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" has been prepared in compliance with the California Environmental Quality Act of 1970, as amended, and the State CEQA guidelines promulgated thereunder; that said Addendum prepared therefore reflects the independent judgment of the Planning Commission; and, further, this Commission has reviewed and considered the information contained in said Addendum with regard to the application.

b. The Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" identifies all significant effects which have been reduced to an acceptable level by imposition of mitigation measures on the project which are listed below as conditions of approval.

c. Pursuant to the provisions of Section 753.5(c) of Title 14 of the California Code of Regulations, the Planning Commission finds as follows: In considering the record as a whole, the Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" for the project, there is no evidence that the proposed project will have potential for an adverse impact upon wildlife resources or the habitat upon which wildlife depends. Further, based upon the substantial evidence contained in the Addendum, the staff reports and exhibits, and the information provided to the Planning Commission during the public hearing, the Planning Commission hereby rebuts the presumption of adverse effect as set forth in Section 753.5(c-1-d) of Title 14 of the California Code of Regulations.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below.

Planning Division

- 1) All conditions of approval contained in Ordinance No. 648 for Victoria Community Plan Amendment 98-01 and Ordinance No. 649 for Etiwanda Specific Plan Amendment 98-01 shall apply.
- 2) All Conditions of approval contained in Development Agreement 00-04 and the Tentative Tract 15794 shall apply.
- 3) The approval is for a master planned development consisting of a mixed use of residential, commercial, open space, park and school. Any changes to the Master plan land use arrangement will be subjected to a modification of the Development Review application for Planning Commission review and approval.
- 4) The Final Master Plan incorporating the pertinent conditions of approval listed below shall be submitted for City Planner review and approval prior to City Council approval of the Development Agreement.
- 5) Within 45 days of City Council approval, a revised Master Plan text incorporating the changes required shall be submitted to the City Planner for review and approval. Upon acceptance by the City Planner, a total of 50 unbound, 3-hole punch copies of the Master Plan shall be submitted to the Planning Division. In addition, one camera-ready original (unbound) and one executable copy on a CDROM in Microsoft Word format shall be submitted.
- 6) The buffer zones used along the perimeter of the project near the existing winery and along future commercial parcels, shall be 20-foot minimum depth and landscaped to provide a buffer from the adjacent uses. The buffer zone portion of the lot shall be identified as a non-buildable area to be maintained as a buffer zone in perpetuity, and



identified as such on the final map. The final design of buffer zone is subjected to City Planner review and approval prior to the first phase of final map approval.

- 7) Where the greenway trail crosses in mid-block locations, the trail opening shall be expanded with a corner cut-off at a 45-degree angle, and 20-foot setback from the property corner if feasible and as approved by the City Planner and City Engineer.
- 8) Trail connections to the greenway system shall be provided from within the tract at cul-de-sacs and knuckles that are in proximity to the greenway trail subject to approval of the City Engineer. In addition, trail connections shall be made from within the tract to community trails along the project perimeter, including Church Street, Day Creek Boulevard, and Etiwanda Avenue, subject to the approval of the City Engineer.
- 9) The greenway system shall include lighting.
- 10) The final design of the proposed central spine street (Victoria Arbor Lane) shall be subject to City Planner and City Engineer review and approval prior to the first phase of the final map approval. The design shall include a strong vertical element/landmark at the roundabout and display of arbors and furniture along the 40 foot wide median island.
- 11) The final design of all greenway trails and trails connections are subject to City Planner and City Engineer review approval prior to first phase of the final map approval. The following items shall be corrected:
  - a) The size of greenway trail connection at the west side of the roundabout "Arbor Way" is inconsistent with the plans reviewed and dated January 24, 2001.
  - b) Provide additional depth to open up to the greenway trail at the north end of "H-H" Street.
  - c) Trails shown on the Master Plans and tentative tract shall be coordinated for consistency.
  - d) Eliminate trail between Lots 53 and 54.
  - e) Move trail between Lots 172 and 173 to the west, subject to City Planner review and approval.
- 12) The final design and alignment of the Victoria Linear Park (Victoria Park Lane) at Base Line Road connecting to the proposed central spine street through the park shall be subject to City Planner and City Engineer review and approval prior to the first phase of final map approval.

- 13) Show the special community entry treatment at the southeast side of Base Line Road and Victoria Park Lane consistent with the design at the southwest side but not necessarily the scale or size of the entry, subject to City Planner and City Engineer review and approval.
- 14) Add design criteria including example of architectural styles and the requirement of master planning for any commercial adjacent to the winery. Final design shall be subject to City Planner review and approval.
- 15) A system of trails, greenway and paseos for the block bounded by future Church Street, Day Creek Boulevard, Foothill Boulevard and Day Creek Channel shall be submitted with the first development in the block.
- 16) A master planning of the residential block bounded by Victoria Loop Road, Mosaic Drive, Etiwanda Avenue and existing Buddhist Temple site shall be submitted for City Planner review and approval.
- 17) Add language referencing the block south of Church Street, west of Day Creek Boulevard and north of Foothill Boulevard to follow the design standards of the future Regional Center Master Plan.
- 18) Add Architectural Guidelines as follows, subject to City Planner review and approval prior to City Council approval of the Development Agreement:
  - a) Strong design language to ensure that builders understand the expectations of following the quality architectural standards of house products.
  - b) Stronger language to require architectural elements.
  - c) All 2-story house product shall have roof variation and gradation of roof.
  - d) Minimum depth of ground level porch shall be 8 feet.
  - e) The minimum square footage for private open space in the form of balconies, porches, courtyards, trellis or a combination of them shall be 7 percent of the gross floor area of the house product.
  - f) Add criteria for a hierarchy of fencing and wall design.
  - g) Plot 65 percent of houses with alternative garages instead of front-on. The 65 percent may be reduced to 55 percent if the front-on garages are treated with trellis, porches or balconies on the second story, etc., subject to Design Review Committee review and approval.



- 19) Victoria Linear Park, Central Spine Street and open space, etc., shall be completed as follows:
  - a) Victoria Park Lane/Loop Road: Full improvement at the corner of Victoria Park Lane and Base Line Road and from Base Line Road to Church Street for Phase 4 development.
  - b) Central Spine Street (Victoria Arbor Lane): Full improvement at Phase 5 development
  - c) Greenway paseo (letter lot): Full improvement at Phase 4 development.
  - d) The "Victoria Linear Park" connector to central spine street through the park shall be completed with the park improvement.
  - e) All interior trails/paseos connections to greenway within the tract shall be completed with that phase of development.
- 20) The Master Plan shall have language stating that the tier of lots along Etiwanda Avenue shall comply with the development and design standards contained in the Etiwanda Specific Plan. Provide illustration of plotting house products for lots along Etiwanda Avenue.
- 21) Submit a Conditional Use Permit for the house product along Etiwanda Avenue in Phase 3 development.
- 22) Recreational Vehicle (RV) storage shall be provided within each residential land use category for 25 percent of the lots or designate a Community Facility lot for RV storage that meets the required percentage with the lot located within Victoria Arbors Village.
- 23) Provide an illustrative design entry to the winery site at the intersection of Winery Way and "P" Street, subject to City Planner Review and approval.
- 24) The Master Plan shall have a section of the development review process for residential and commercial development.
- 25) Development within the Victoria Arbors Master Plan shall use the development standards and design guidelines contained in the Master Plan. The applicant of a development in the master plan boundary shall not be allowed to mix, pick, or choose the development standards contained in the Victoria Community Plan and the Victoria Arbors Master Plan.
- 26) Development proposed above the mid-range of the Innovative Housing Density (7-10 dwelling units per acre), shall also conform to Development Code Section 17.08.040.C-H, pertaining to open space, amenities, and building separation.

- 27) Street names shall be submitted to the Planning Division for review and approval prior recordation of the final Tract Map.
- 28) The final list of permitted uses and conditionally permitted uses shall be subjected to City Planner review and approval, prior to City Council Approval of the Development Agreement.
- 29) The approval of the Master Plan Development Review 01-04 shall not be effective until the Ordinance approving Development Agreement 00-04 becomes effective.
- 30) The applicant shall agree to defend at his sole expense any action brought against the City, its agents, officers, or employees, because of the issuance of such approval, or in the alternative, to relinquish such approval. The applicant shall reimburse the City, its agents, officers, or employees, for any Court costs and attorney's fees which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve applicant of his obligations under this condition.
- 31) The developer shall provide each prospective buyer written notice of the required 20-foot landscape buffer with a non-buildable deed restriction in a standard format as determined by the City Planner, prior to accepting a cash deposit on any property.
- 32) The developer shall provide each prospective buyer written notice of the Regional Center in a standard format as determined by the City Planner, prior to accepting a cash deposit on any property.

Environmental Mitigation

- 1) Summary of Impacts and Mitigation contained in the Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" shall apply except for Mitigation Measures 4.7.3A, 4.7.3B, and 4.7.3D.
  - 2) Mitigation Monitoring Program contained in the Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" shall apply except for Mitigation Measures 4.7.3A, 4.7.3B, and 4.7.3D.
6. The Secretary to this Commission shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED THIS 7TH DAY OF MARCH 2001.

PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA



PLANNING COMMISSION RESOLUTION NO. 01-23  
DR 01-04 - AMERICAN BEAUTY DEVELOPMENT COMPANY  
March 7, 2001  
Page 8

BY:   
Larry J. McNiel, Chairman

ATTEST:   
Brad Buller, Secretary

I, Brad Buller, Secretary of the Planning Commission of the City of Rancho Cucamonga, do hereby certify that the foregoing Resolution was duly and regularly introduced, passed, and adopted by the Planning Commission of the City of Rancho Cucamonga, at a regular meeting of the Planning Commission held on the 7th day of March 2001, by the following vote-to-wit:

AYES:	COMMISSIONERS:	MACIAS, MANNERINO, MCNIEL, STEWART, TOLSTOY
NOES:	COMMISSIONERS:	NONE
ABSENT:	COMMISSIONERS:	NONE

RESOLUTION NO. 01-24

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, CONDITIONALLY APPROVING TENTATIVE PARCEL MAP 15641, A REQUEST TO SUBDIVIDE APPROXIMATELY 300.64 ACRES INTO 35 LOTS FOR FINANCING PURPOSES FOR A MIXED USE DEVELOPMENT PROJECT KNOWN AS THE VICTORIA ARBORS, GENERALLY LOCATED SOUTH OF BASE LINE ROAD, WEST OF ETIWANDA AVENUE, NORTH OF FOOTHILL BOULEVARD, AND EAST OF DAY CREEK CHANNEL, AND MAKING FINDINGS IN SUPPORT THEREOF - APN: 227-201-04, 13 THROUGH 18, 22, 28 THROUGH 31, 33, AND 36; 227-161-28, 31, 33, 35, 36, AND 38; 227-171-08, 11, 12, 20, 22, 23, AND 25; AND 227-211-40.

A. Recitals.

1. American Beauty Development Company filed an application for the approval of Tentative Parcel Map 15641 as described in the title of this Resolution. Hereinafter in this Resolution, the subject Development Review request is referred to as "the application."

2. On July 7, 1999, the City Council adopted Resolution No. 99-148 Certifying the Environmental Impact Report for a development project known as the Victoria Arbors Village as complete and adequate and in compliance with California Environmental Quality Act. On December 20, 2000, the Council adopted Resolutions No. 00-266 and 00-267 and Ordinances No. 648 and 649, approving the related General Plan Amendment 98-02, Victoria Community Plan 98-01, Etiwanda Specific Plan 98-01, and approving the Statements of Facts and Findings and Overriding Consideration. Subsequently, the City received a Tentative Tract Map application as described above.

3. On February 14, and continued to February 28, and March 7, 2001, the Planning Commission of the City of Rancho Cucamonga conducted a duly noticed public hearing on the application and concluded said hearing on that date.

4. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:

1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon the substantial evidence presented to this Commission during the above-referenced meeting on February 14, and 28, and March 7, 2001, including written and oral staff reports, this Commission hereby specifically finds as follows:

a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, Foothill Boulevard to the south, and Day Creek Channel to the west; the site is presently vacant, unimproved land.



b. The property to the north of the subject site consists of existing single-family residential and commercial center within the Windrows Village of the Victoria Community Plan; the property to the south consists of vacant, unimproved property with a Regionally Related Commercial designation; the property to the east is vacant, unimproved land with a Low-Medium Density Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor, and existing single-family residential development commonly referred to as the Rochester Tract with a Low-Medium Density residential designation.

3. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. That the Tentative Parcel Map is consistent with the Victoria Community Plan and the General Plan.

b. That no improvements are proposed with this subdivision, which is intended for financing and conveyance purposes only.

c. That the site is physically suitable for the proposed future development.

d. That the proposed subdivision will not cause substantial environmental damage or public health problems or have adverse effects on abutting properties.

4. Based upon the facts and information contained in the proposed Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," together with all written and oral reports, the Planning Commission finds that there is no substantial evidence that the project will have a significant effect upon the environment based upon the findings as follows:

a. That the Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No 98041137," has been prepared in compliance with the California Environmental Quality Act of 1970, as amended, and the State CEQA guidelines promulgated thereunder; that said Addendum prepared therefore reflects the independent judgment of the Planning Commission; and, further, this Commission has reviewed and considered the information contained in said Addendum with regard to the application.

b. The Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" identifies that all significant effects have been reduced to an acceptable level by imposition of mitigation measures on the project which are listed below as conditions of approval.

c. Pursuant to the provisions of Section 753.5(c) of Title 14 of the California Code of Regulations, the Planning Commission finds as follows: In considering the record as a whole, the Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" for the project, there is no evidence that the proposed project will have potential for an adverse impact upon wildlife resources or the habitat upon which wildlife depends. Further, based upon substantial evidence contained in the Addendum, the staff reports and exhibits, and the information provided to the Planning Commission during the public hearing, the Planning

Commission hereby rebuts the presumption of adverse effect as set forth in Section 753.5(c-1-d) of Title 14 of the California Code of Regulations.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below.

Planning Division

- 1) The applicant shall agree to defend at his sole expense any action brought against the City, its agents, officers, or employees, because of the issuance of such approval, or in the alternative, to relinquish such approval. The applicant shall reimburse the City, its agents, officers, or employees, for any Court costs and attorney's fees which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve applicant of his obligations under this condition.
- 2) This tentative parcel map shall expire, unless extended by the Planning Commission, unless a complete final map is filed with the City Engineer within 3 years from the date of the approval.
- 3) All conditions of approval contained in Ordinance No. 648 for Victoria Community Plan Amendment 98-01 and Ordinance No. 649 for Etiwanda Specific Plan Amendment 98-01 shall apply
- 4) All Conditions of approval contained in Development Agreement 00-04, Development Review 91-04, and Tentative Tract 15794 shall apply.
- 5) Master planning will be required for proposed development within any portion of each parcel. The Master Plan shall include, but not be limited to, access, circulation, driveway locations, community greenways and trails, and land use.
- 6) The approval of Tentative Parcel Map 15641 shall not be effective until the Ordinance approving Development Agreement 00-04 is effective.

Engineering Division

- 1) Dedicate and improve those portions of street rights-of-way within this subdivision as follows:
  - Day Creek Blvd.
  - Victoria Park Lane
  - Victoria Park Loop
  - Church Street




Except that if a Development Agreement is entered into with the City, which stipulates something to the contrary, the Development Agreement shall govern.

- 2) Change Lot Nos. 9, 27, and 28 to "lettered lots" and modify the numbering accordingly and offer easements to the City for open space/landscape/trail purposes.

APPROVED AND ADOPTED THIS 7TH DAY OF MARCH 2001.

PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA

BY:   
Larry T. McNiel, Chairman

ATTEST:   
Brad Buller, Secretary

I, Brad Buller, Secretary of the Planning Commission of the City of Rancho Cucamonga, do hereby certify that the foregoing Resolution was duly and regularly introduced, passed, and adopted by the Planning Commission of the City of Rancho Cucamonga, at a regular meeting of the Planning Commission held on the 7th day of March 2001, by the following vote-to-wit:

AYES: COMMISSIONERS: MACIAS, MANNERINO, MCNIEL, STEWART, TOLSTOY

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: NONE

RESOLUTION NO. 01-25

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, APPROVING TENTATIVE TRACT MAP NO. 15974, A RESIDENTIAL SUBDIVISION OF 555 SINGLE-FAMILY RESIDENTIAL LOTS AND 13 LETTERED LOTS FOR OPEN SPACE, PARKS AND TRAIL PURPOSES ON APPROXIMATELY 190 GROSS ACRES OF LAND, WITHIN A DEVELOPMENT PROJECT KNOWN AS THE VICTORIA ARBORS, IN THE MIXED USE DISTRICT OF THE VICTORIA COMMUNITY PLAN, GENERALLY LOCATED SOUTH OF BASE LINE ROAD, WEST OF ETIWANDA AVENUE, NORTH OF FUTURE CHURCH STREET, AND EAST OF DAY CREEK CHANNEL, AND MAKING FINDINGS IN SUPPORT THEREOF - APN: 227-161-28, 31, 33, 35, 36, AND 38; 227-171-08, 11, 12, 20, 22, 23, AND 25.

A. Recitals.

1. American Beauty Development Company filed an application for the approval of Tentative Tract Map No. 15974, as described in the title of this Resolution. Hereinafter in this Resolution, the subject Tentative Tract Map request is referred to as "the application."

2. On July 7, 1999, the City Council adopted Resolution No. 99-198 certifying the Environmental Impact Report for a development project known as the Victoria Arbors Village as complete and adequate and in compliance with California Environmental Quality Act. On December 20, 2000, the Council adopted Resolutions No. 00-266 and 00-267 and Ordinances No. 648 and 649, approving the related General Plan Amendment 98-02, Victoria Community Plan 98-01, and Etiwanda Specific Plan 98-01 and approving the Statements of Facts and Findings and Overriding Consideration. Subsequently, the City received a Tentative Tract Map application as described above.

3. On February 14, and 28, and continued to March 7, 2001, the Planning Commission of the City of Rancho Cucamonga conducted a duly noticed public hearing on the application and concluded said hearing on that date.

4. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:

1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing on February 14, and 28, and March 7, 2001, including written and oral staff reports, together with public testimony, this Commission hereby specifically finds as follows:

a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, future Church Street to the south, and Day Creek Channel to the west; and the site is presently unimproved land.

b. The property to the north of the subject site consists of existing single-family residential and commercial center within the Windrows Village of the Victoria Community Plan; the



property to the south consists of vacant, unimproved property with a Mixed Use designation within the Victoria Community Plan (site of the future Regional Center); the property to the east is vacant, unimproved land with a Low-Medium Density Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor, and existing single-family residential development commonly referred to as the Rochester Tract with a Low-Medium Density residential designation.

c. The proposed project consists of 554 single-family residential lots, and 13 letter lots for open space, parks, and trails.

d. The proposed project is consistent with the General Plan Mixed Use District as further defined in the Victoria Community Plan and the Victoria Arbors Master Plan (Development Review 01-04).

e. The proposed project conforms to the standards and regulations in Victoria Community Plan, and the Victoria Arbors Master Plan (Development Review 01-04).

f. The developer is required to complete all public improvements as listed in the conditions of approval section of this Resolution.

g. The proposed project will comply with the environmental mitigation listed in the EIR document entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," and is incorporated herein by this reference.

h. The proposed project and the intended use together with all conditions of approval and the mitigation will not be detrimental to the health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

3. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. The tentative tract is consistent with the General Plan, Development Code, and the Victoria Community Plan.

b. The design or improvements of the tentative tract is consistent with the General Plan, Development Code, and the Victoria Community Plan.

c. The site is physically suitable for the type of development proposed.

d. The design of the subdivision is not likely to cause substantial environmental damage and avoidable injury to humans and wildlife or their habitat.

e. The tentative tract is not likely to cause serious public health problems.

f. The design of the tentative tract will not conflict with any easement acquired by the public at large, now of record, for access through or use of the property within the proposed subdivision.

4. Based upon the facts and information contained in the proposed Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," together with all written and oral reports, the Planning Commission finds that there is

no substantial evidence that the project will have a significant effect upon the environment based upon the findings as follows:

a. That on July 7, 1999, the City Council of the City of Rancho Cucamonga adopted Resolution No. 99-148 certifying the environmental document entitled as the "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," and on December 20, 2000, adopted Resolution No. 00-266 approving the Statement of Facts and Findings and Overriding Consideration.

b. That the Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" has been prepared in compliance with the California Environmental Quality Act of 1970, as amended, and the State CEQA guidelines promulgated thereunder; that said Addendum prepared therefore reflect the independent judgment of the Planning Commission; and, further, this Commission has reviewed and considered the information contained in said Addendum with regard to the application.

c. The Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" identifies that all significant effects have been reduced to an acceptable level by imposition of mitigation measures on the project which are listed below as conditions of approval.

d. Pursuant to the provisions of Section 753.5(c) of Title 14 of the California Code of Regulations, the Planning Commission finds as follows: In considering the record as a whole, the Addendum to the Certified Final EIR entitled Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137 for the project, there is no evidence that the proposed project will have potential for an adverse impact upon wildlife resources or the habitat upon which wildlife depends. Further, based upon the substantial evidence contained in the Addendum, the staff reports and exhibits, and the information provided to the Planning Commission during the public hearing, the Planning Commission hereby rebuts the presumption of adverse effect as set forth in Section 753.5(c-1-d) of Title 14 of the California Code of Regulations.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below and in the Standard Conditions, attached hereto and incorporated herein by this reference.

Planning Division

- 1) All conditions of approval contained in Ordinance No. 648 for Victoria Community Plan Amendment 98-01 and Ordinance No. 649 for Etiwanda Specific Plan Amendment 98-01 shall apply.
- 2) All Conditions of approval contained in Development Agreement 00-04 shall apply.
- 3) The approval is for 555 single-family lots and 13 letter lots for open space, parks and greenway trails, an approximately 10-acre park and 10-acre elementary school site.
- 4) The buffer zones used along the perimeter of the project near the existing winery and along future commercial parcels, shall be 20-foot minimum depth and landscaped to provide a buffer from the adjacent uses. The buffer zone portion of the lot shall be identified as a non-buildable area to be maintained as a buffer zone in perpetuity, and



identified as such on the final map. The final design of buffer zone is subjected to City Planner review and approval prior to the first phase of final map approval.

- 5) Where the greenway trail crosses in mid-block locations, the trail opening shall be expanded with the corner cut-off at a 45-degree angle and a 20-foot setback from the property corner.
- 6) Trail connections to the greenway system shall be provided from within the tract at cul-de-sacs and knuckles that are in proximity to the greenway trail subject to the approval of City Engineer. In addition, trail connections shall be made from within the tract to community trails along the project perimeter, including Church Street, Day Creek Boulevard, and Etiwanda Avenue subject to the approval of the City Engineer.
- 7) The greenway system shall include lighting.
- 8) The final design of the proposed central spine street (Victoria Arbor Lane) shall be subject to City Planner and City Engineer review and approval prior to the first phase of the final map approval. The design shall be consistent with the theme established in the Victoria Arbors Master Plan and shall include a strong vertical element/landmark at the round-about and display of arbors and furniture along the 40 foot wide median island.
- 9) The final design of all greenway trails and trail connections are subject to City Planner and City Engineer review and approval prior to first phase of the final map approval. The following items shall be corrected:
  - a) The size of greenway trail connection at the west side of the roundabout "Arbor Way" is inconsistent with the plans reviewed and dated January 24, 2001.
  - b) Provide additional depth to open up to the greenway trail at the north end of "H-H" Street.
  - c) Trails shown on the Master Plans and tentative tract shall be coordinated for consistency.
  - d) Eliminate trail between Lots 53 and 54.
  - e) Move trail between Lots 172 and 173 to the west subject to City Planner review and approval.
- 10) The final design and alignment of the Victoria Linear Park (Victoria Park Lane) at Base Line Road connecting to the proposed central spine street shall be subject to City Planner and City Engineer review and approval prior to the first phase of final map approval.

- 11) Streetscape for Day Creek Boulevard shall in accordance with the Day Creek Boulevard Master Plan Design Guidelines.
- 12) Final design of hardscape shall be subject to City Planner and City Engineer review and approval.
- 13) All greenway trails shall be of flat usable area to the extent feasible and as approved by City Planner and City Engineer.
- 14) East side of Day Creek Boulevard shall be designed in accordance with Day Creek Boulevard Master Plan. The 25-foot parkway shall be exclusive of any right turn lane or bus bay.
- 15) Increase buildable area for the following lots: Lots 424 and 425 at the end of "S-S" street, Lots 438 and 439 at end of "V-V" street, and Lot 170 at the end of the knuckle of "F" street, Lots 321 and 323 at the end of "H-H" Street; Lots 226 and 223 at the knuckle of "F-F" and "H" Streets.
- 16) All perimeter walls shall have sizable pilaster and may require variation in setback, subject to City Planner review and approval..
- 17) Victoria Linear Park, Central Spine Street and open space, etc., shall be completed as follows:
  - a) Victoria Park Lane/Loop Road: Full improvement at the corner of Victoria Park Lane and Base Line Road and from Base Line Road to Church Street for Phase 4 development.
  - b) Central Spine Street (Victoria Arbor Lane): Full improvement at phase 5 development
  - c) Greenway paseo (Letter lot): Full improvement at Phase 4 development.
  - d) The "Victoria Linear Park" connector to central spine street through the park shall be completed with the park improvement.
  - e) All interior trails/paseos connections to greenway within the tract shall be completed with that phased development.
- 18) Submit a Conditional Use Permit for the house product along Etiwanda Avenue in Phase 3 development. All development standards for the tier of the lots shall be in accordance with all pertinent standards in Etiwanda Specific Plan.
- 19) Recreational Vehicle (RV) storage shall be provided within each residential land use category for 25 percent of the lots or designate a Community Facility lot for RV storage that meets the required percentage with the lot located within Victoria Arbors Village.



- 20) The approval of the Tentative Tract Map 15794 shall not be effective until the Ordinance approving Development Agreement 00-04 is effective.
- 21) The developer shall provide each prospective buyer written notice of the required 20-foot landscape buffer with a non-buildable deed restriction in a standard format as determined by the City Planner, prior to accepting a cash deposit on any property.
- 22) The developer shall provide each prospective buyer written notice of the Regional Center in a standard format as determined by the City Planner, prior to accepting a cash deposit on any property.

Environmental Mitigation

- 1) Summary of Impacts and Mitigation contained in the Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" shall apply except for Mitigation Measures 4.7.3A, 4.7.3B, and 4.7.3D.
- 2) Mitigation Monitoring Program contained in the Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" shall apply except for Mitigation Measures 4.7.3A, 4.7.3B, and 4.7.3D.

Engineering Division

- 1) A right-turn lane shall be required for northbound travel at Day Creek Boulevard and collector "A" Street.
- 2) The Traffic Impact Analysis fair share traffic mitigation for improvements within the City shall be accomplished through the City's established Transportation Fee Program. The Traffic Impact Analysis fair share traffic mitigation for improvements outside the City limits shall be proportionally paid prior to each final map recordation.
- 3) School bus route study, including loading and unloading areas, shall be determined and coordinated with the school district and any improvements recommended by the study shall be required and completed to the satisfaction of the City Engineer.
- 4) A traffic signal shall be constructed at the intersection of Day Creek Boulevard and "A" Street prior to occupancy of the Commercial Site.
- 5) A traffic signal modification will be required at the intersection of Victoria Park Lane and Base Line Road upon extension of Victoria Park Lane southerly.
- 6) A traffic signal shall be constructed at the intersection of Day Creek Boulevard and Church Street prior to occupancy of any development west of Day Creek Boulevard.

- 7) A traffic signal shall be constructed at the intersection of Church Street and Arbor Lane prior to the opening of the park site.
- 8) A traffic signal shall be constructed at the intersection of Church Street and Victoria Park Lane with the extension of Victoria Park Lane to Base Line Road.
- 9) A traffic signal shall be constructed at the intersection of Victoria Park Lane and "K" Street prior to the opening of the school site.
- 10) A traffic signal shall be constructed at the intersection of Church Street and Etiwanda Avenue prior to occupancy in Phase 3.
- 11) A traffic signal shall be constructed at the intersection of Day Creek Boulevard and Foothill Boulevard prior to the opening of Day Creek Boulevard to Foothill Boulevard.
- 12) Left-turn pocket shall be required for southbound travel on Arbor Lane at Church Street.
- 13) Class II Bike Lanes shall be installed, as determined in the Arbors Master Plan, to the satisfaction of the City Engineer.
- 14) Foothill Boulevard shall be constructed to the City and CALTRAN's "Major Divided Highway" standards with typical mid-block section curb-to-curb distance of 130 feet. (Lane widths of 20'-12'-12'-14'-14'-14'-12'-12'-20', except at intersections)
- 15) Day Creek Boulevard shall be constructed to the City's "Major Divided Arterial" standard with typical mid-block section curb-to-curb distance of 94 feet. (Lane widths of 5'-11'-11'-13'-14'-13'-11'-11'-5', except at intersections)
- 16) Church Street west of Victoria Park Lane shall be constructed to the City's "Modified Secondary Arterial" standard with typical mid-block section curb-to-curb distance of 78 feet (Lane widths of 5'-15'-12'-14'-12'-15'-5', except at intersections).
- 17) Church Street between Victoria Park Lane and Etiwanda Avenue shall be constructed to the City's "Modified Major Arterial" standard with typical mid-block section curb-to-curb distance of 78 feet (Lane widths of 20'-12'-14'-12'-20', except at intersections).
- 18) Victoria Park Lane between Base-Line Road and Church Street shall be constructed to the City's "Modified Major Arterial" standard with typical mid-block section curb to curb distance of 72 feet, (lane widths of 17'-12'-14'-12'-17', except at intersections).
- 19) Etiwanda Avenue shall be constructed to the City's "Secondary Arterial" standard in accordance with the current Etiwanda Specific Plan with typical mid block section curb-to-curb distance of 64 feet, (Lane widths of 16'-11'-10'-11'-16', except at intersections).



- 20) Arbor Lane shall be constructed to the City's "Modified Collector Street" standards with typical mid block section curb-to-curb distance of 84 feet, (Lane widths of 22'-40'-22', except at intersections).
- 21) Base Line Road shall be constructed to the City's "Major Divided Arterial" standard with typical mid-block section curb-to-curb distance of 94 feet. (Lane widths of 16'-11'-13'-14'-13'-11'-16', except at intersections).
- 22) All internal residential streets shall be developed in accordance with City's "Local Street" standard with typical mid block section curb-to-curb distance of 36 feet, (Lane widths of 18'-18', except at intersections).
- 23) A signalized median opening shall be required at Day Creek Boulevard and "A" Street.
- 24) Right turn lanes for Day Creek Boulevard and Base Line Road with any side streets and driveways shall be constructed to the satisfaction of the City Engineer.
- 25) Right turn lane shall be required for southbound Victoria Park Lane at Church Street.
- 26) The street backbone system shall be constructed as follows:

Development of Phase 1:

- Complete Base Line Road half street frontage, from Day Creek Boulevard intersection to the east boundary of the tract, and join with existing widening west of Etiwanda Avenue.
- Construct Day Creek Boulevard full width, from Base Line Road to "G" Street.

Development of Phase 2:

- Complete Day Creek Boulevard full width, from "G" Street south to and including Church Street intersection.
- Construct Church Street from the easterly terminus west of Day Creek Channel to Day Creek Boulevard.

Development of Phase 3:

- Construct Etiwanda Avenue half street frontages, adjacent to the tract limits.
- Construct Church Street adjacent to the tract limits to Etiwanda Avenue, including the widening of the under-crossing at the intersection of Etiwanda Avenue and Church Street. The south side of Church Street will not require curb and gutter, but will require full pavement width.

Development of Phase 4:

- Construct Victoria Park Lane from Church Street to Base Line Road.
- Complete street improvements around school and park site.
- Construct Church Street from the existing terminus of Phase 3, west of Etiwanda Avenue to Day Creek Boulevard. The south side of Church Street will not require curb and gutter, but will require full pavement width.

Development of Phase 5:

- Construct Day Creek Boulevard, minimum two lanes each direction from Church Street to Foothill Boulevard (27-foot pavement width on east and west side of street with curb, gutter, and street lights)
- 27) Drainage – Interim drainage facilities may be required for the implementation of the above street construction phasing.
  - 28) The large paseo areas shall be dedicated in fee to the City of Rancho Cucamonga, while minor trail connections have the option of being dedicated as an easement for such purposes.
  - 29) Any paseos with storm drain facilities within it shall have a hard surface access 12 feet wide and 8 inches thick with wire mesh and gated access. Also, no planting of trees within 5 feet of the outside edge of the pipe will be permitted.
  - 30) Trail routes shall be installed to ADA compliance, as determined in the Arbors Master Plan, to the satisfaction of the City Engineer.
  - 31) Eliminate the Wetlands and include the area into the Park Site. Provide any and all mitigation measures satisfactory to Army Corp of Engineers or any other appropriate agency. If unable to do so, the Wetlands need to be designed to the satisfaction of the City Engineer subject to a Design Review process. After the technical details are resolved, amenities such as, but not limited to: fencing, pedestrian paths, pedestrian bridges, landscaping, restoration, hardscape, etc. are subject to a Design Review process. The Developer is responsible for all outside agencies' permits.
  - 32) Entry Statements identified by the Victoria Community Plan and Day Creek Boulevard Master Plan shall be accepted into the City's Landscape Maintenance District. All others shall be maintained through a Home Owners Association (HOA).



- 33) All City maintained landscaping should conform to Public Works Standards and the maintenance-reducing strategies adopted by City Council or as modified by City Engineer. These policies include reducing the landscape area (after factoring in a 4-foot min. walkway) by 40 percent with hardscape.
- 34) Trees shall require standard growing space. Tree grates will not be allowed.
- 35) Landscaping along major streets such as Base Line Road, Day Creek Boulevard, and Church Street/Miller Avenue should incorporate established beautification themes, including the 40 percent hardscape concept.
- 36) Special monumentation is discouraged (for areas other than Day Creek Boulevard) as the Victoria Specific Plan promotes landscaping to enhance entries. The use of trellises on Arbor Lane has been discussed, however these trellises must be designed to be vandal resistant and low maintenance. All monumentation, focal points (i.e., fountains) and structures within the publicly maintained areas require approval of the City Engineer.
- 37) Interior paseos and/or any such public ways shall receive adequate safety lighting, as determined by the City Engineer.
- 38) Special medians, such as Foothill Boulevard median, or the proposed 40-foot wide median on Arbor Way will require electrical power to facilitate community programming slated for the median/street.
- 39) Street trees per City Standards shall be provided for all streets. Contact Associate Park Planner in the Engineering Division for Street Tree Guidelines.
- 40) Arbor Lane shall have specially treated pedestrian crossings to discourage pedestrians from crossing the street at other than designated street crossings. All pedestrian street crossing shall be subject to the approval of the City Engineer.
- 41) No cross-lot drainage. Each unit shall drain to the street or a public approved facility.
- 42) LMD areas shall have a maximum of 3:1 slopes with maximum retaining wall of 30 inches, except the east side of Day Creek Boulevard shall have maximum slope of 4:1. Top of slope and toe of slope shall have a minimum 1-foot flat area to pedestrian walkways (2-foot flat area at top of slope for larger slopes per city standard).
- 43) Parkways shall be 2 percent from top of curb to back of walk.
- 44) A drainage report was not reviewed. Developer shall install all drainage facilities as approved in the final drainage report subject to the satisfaction of the City Engineer. General City Drainage Fees will not

be required of this Development. Drainage facilities identified in the proposed Community Facility District documents shall have fair share cost distribution consistent with the CFD calculations. In other words, if this Development installs identified drainage facilities in excess of its fair share cost, then this development is eligible for Developer-to-Developer reimbursement. However, if the cost of the drainage facilities is less than its fair share, then this Development shall pay its proportionate share over the cost of the installation of the drainage facilities. If a CFD is formed, then the cost distribution will be accomplished through the CFD.

- 45) Drainage fees and oversizing fees per the Etiwanda/San Sevaine Area shall be required for all property located within the San Sevaine Drainage Area prior to final map recordation. The Etiwanda-San Sevaine Drainage area is that portion of property lying within 500 feet of the centerline of Etiwanda Avenue
- 46) All drainage easements with pipe size less than 60 inches shall be minimum 12 feet and pipe size 60 inches and larger require a minimum 25 feet.
- 47) Drainage Acceptance Agreements shall be executed for the Regional Mall Site.
- 48) All utilities off-site and on-site shall be handled according to the underground utility policy. Utilities on the opposite sides of the streets fronting the project shall have fees paid in accordance with the policy. Utilities on the project side of the street fronting the project shall be undergrounded in accordance with the policy.
- 49) The Developer may be required to sign a consent and waiver form to join and/or form the Law Enforcement Community Facilities District as determined by the City Engineer prior to final map approval or the issuance of building permits, whichever occurs first. Formation costs shall be borne by the Developer.
- 50) Design development of the public park should occur concurrently with the project's design development.
- 51) The design, layout, and recreational amenities of the proposed public park shall conform to Ordinance 105 and to the Parks and Recreation element of the Rancho Cucamonga General Plan. All improvements shall be constructed per City Standard, following Green Book Construction methods.
- 52) There shall be no encumbrances on the park land, including, but not limited to, storm drain, master sewer lines, known fault lines, easements, or any other encumbrances that would preclude development of the site.
- 53) Land not suitable/useable for recreational purposes shall not be counted in the net acreage for park credit, such as drive aisle medians,



street rights-of-way, and slopes greater than 3:1. No portion of the public park acreage shall be separated by a street.

- 54) The park will be completed by the time 243 dwelling units have been issued building permits.
- 55) A block wall adjacent to the park site shall be required along the residential/commercial properties. If the park is adjacent to a school site, the city may allow ornamental fencing to separate the two sites.
- 56) The wetlands will not receive park credit.
- 57) Complete all street frontage improvements (to center line of street) and interior street improvements at Developer's own cost. Developer is eligible for transportation fee credit and/or reimbursement for those facilities that are part of the program. Request for reimbursement shall be applied for within six months of completion of the improvements or all rights to reimbursement shall be nullified. Developer shall also complete all offsite street improvements as required by the conditions of approval. Said offsite improvements are eligible for transportation fee credit and reimbursement subject to the adopted program or eligible for Developer-to-Developer reimbursement. Both forms of reimbursement shall be applied for within six months of completion of the street improvements or all rights to reimbursement shall be nullified. The Development is responsible to reimburse other Development if they install any frontage improvements. If a Community Facility District is formed, then this Development will be exempt from the transportation fee program. Installation of improvements and fair share cost will be proportioned by the CFD documents. Developer-to-Developer reimbursements will have to be reviewed on a case-by-case basis in comparison with the improvements within the CFD.
- 58) For Phase 7 – Developer shall make a good faith effort to acquire the right-of-way and construct street improvements for the proposed knuckle of Colonnade Drive on APN 227-171-19. Should Developer not be able to obtain the right-of-way, City staff will take a report to City Council for direction regarding condemnation proceedings. If Council denies condemnation, then Colonnade Drive shall be constructed on a temporary alignment to provide for full public access. Also, Developer shall coordinate with the current property owners to which Tiffany Place will revert. Coordination shall include removal of Tiffany Place, grading to match adjacent property, and re-establishment of fencing. Should the current property owners not desire the vacation of Tiffany Place, then this Developer shall process an amended Tentative Map to provide for a new street layout. If Tiffany Place is to be vacated, it shall not occur until Mosaic Drive is connected to Victoria Park Lane and then to Base Line Road.
- 59) Bus bays shall be constructed to City standards as designated in the Transit Circulation Plan in the City's General Plan.

- 60) Lower Street "W-W" to eliminate or reduce the need for a retaining wall on the easterly boundary of Lots 544, 546, and 547.
- 61) Relocate the storm drain system within the green belt area to a minimum of 20 feet from the fence line of Lot Nos. 80, 81, 82, 89, and 90.
- 62) Place the slopes along the rear yards of Lot Nos. 311, 310, and 309 in the LMD.
- 63) The Bike Lane connection north of Arbor Lane (Winery Way) shall be deleted.
- 64) The Cul-de-sac (V-V Street) transition shall begin adjacent to Lot Nos. 444 and 445 for the future "Not a Part" property. The remaining cul-de-sac shall be constructed to City standards at time of development for the "Not a Part."

6. The Secretary to this Commission shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED THIS 7TH DAY OF MARCH 2001.

PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA

BY:   
Larry T. McNiel, Chairman

ATTEST:   
Brad Buller, Secretary

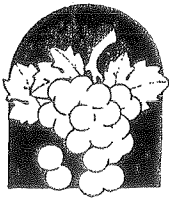
I, Brad Buller, Secretary of the Planning Commission of the City of Rancho Cucamonga, do hereby certify that the foregoing Resolution was duly and regularly introduced, passed, and adopted by the Planning Commission of the City of Rancho Cucamonga, at a regular meeting of the Planning Commission held on the 7th day of March 2001, by the following vote-to-wit:

AYES: COMMISSIONERS: MACIAS, MANNERINO, MCNIEL, STEWART, TOLSTOY

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: NONE





# COMMUNITY DEVELOPMENT DEPARTMENT

## STANDARD CONDITIONS

PROJECT #: Tentative Tract 15974

SUBJECT: Victoria Arbors

APPLICANT: American Beauty Development Company

LOCATION: South of Base Line Road; west of Etiwanda Avenue; north of Church Street; and east of Day Creek Channel

### **ALL OF THE FOLLOWING CONDITIONS APPLY TO YOUR PROJECT.**

**APPLICANT SHALL CONTACT THE PLANNING DIVISION, (909) 477-2750, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:**

#### **A. General Requirements**

1. The applicant shall agree to defend at his sole expense any action brought against the City, its agents, officers, or employees, because of the issuance of such approval, or in the alternative, to relinquish such approval. The applicant shall reimburse the City, its agents, officers, or employees, for any Court costs and attorney's fees which the City, its agents, officers, or employees may be required by a court to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve applicant of his obligations under this condition.
2. A copy of the signed Resolution of Approval or City Planner's letter of approval, and all Standard Conditions, shall be included in legible form on the grading plans, building and construction plans, and landscape and irrigation plans submitted for plan check.

Completion Date

\_\_\_/\_\_\_/\_\_\_

\_\_\_/\_\_\_/\_\_\_

#### **B. Time Limits**

1. This tentative tract map or tentative parcel map shall expire, unless extended by the Planning Commission, unless a complete final map is filed with the City Engineer within 3 years from the date of the approval.

\_\_\_/\_\_\_/\_\_\_

#### **C. Site Development**

1. The site shall be developed and maintained in accordance with the approved plans which include site plans, architectural elevations, exterior materials and colors, landscaping, sign program, and grading on file in the Planning Division, the conditions contained herein, Development Code regulations, and the Victoria Community Plan.

\_\_\_/\_\_\_/\_\_\_

- 2. Occupancy of the facilities shall not commence until such time as all Uniform Building Code and State Fire Marshal regulations have been complied with. Prior to occupancy, plans shall be submitted to the Rancho Cucamonga Fire Protection District and the Building and Safety Division to show compliance. The buildings shall be inspected for compliance prior to occupancy. \_\_\_/\_\_\_/\_\_\_
  
- 3. All site, grading, landscape, irrigation, and street improvement plans shall be coordinated for consistency prior to issuance of any permits (such as grading, tree removal, encroachment, building, etc.) or prior to final map approval in the case of a custom lot subdivision, or approved use has commenced, whichever comes first. \_\_\_/\_\_\_/\_\_\_
  
- 4. Approval of this request shall not waive compliance with all sections of the Development Code, all other applicable City Ordinances, and applicable Community or Specific Plans in effect at the time of building permit issuance. \_\_\_/\_\_\_/\_\_\_
  
- 5. Street names shall be submitted for City Planner review and approval in accordance with the adopted Street Naming Policy prior to approval of the final map. \_\_\_/\_\_\_/\_\_\_
  
- 6. A detailed plan indicating trail widths, maximum slopes, physical conditions, fencing, and weed control, in accordance with City Master Trail drawings, shall be submitted for City Planner review and approval prior to approval and recordation of the Final Tract Map and prior to approval of street improvement and grading plans. Developer shall upgrade and construct all trails, including fencing and drainage devices, in conjunction with street improvements. \_\_\_/\_\_\_/\_\_\_
  - a. Local Feeder Trails (i.e., private equestrian easements) shall, at a minimum, be fenced with two-rail, 4-inch lodge pole "peeler" logs to define both sides of the easement; however, developer may upgrade to an alternate fence material. \_\_\_/\_\_\_/\_\_\_
  - b. Local Feeder Trail entrances shall also provide access for service vehicles, such as veterinarians or hay deliveries, including a 12-foot minimum drive approach. Entrance may be gated provided that equestrian access is maintained through step-through. \_\_\_/\_\_\_/\_\_\_
  - c. Local Feeder Trail grades shall not exceed 0.5% at the downstream end of a trail for a distance of 25 feet behind the public right-of-way line to prohibit trail debris from reaching the street. Drainage devices may be required by the Building Official \_\_\_/\_\_\_/\_\_\_
  - d. Provide a 24-foot by 24-foot corral area in the rear yard. Grade access from corral to trail with a maximum slope of 5:1 and a minimum width of 10 feet. \_\_\_/\_\_\_/\_\_\_
  - e. For single family residential development within the Equestrian/Rural Overlay District, at least one model home shall be provided with a constructed 24-foot by 24-foot corral with appropriate fencing. \_\_\_/\_\_\_/\_\_\_
  
- 7. The developer shall submit a construction access plan and schedule for the development of all lots for City Planner and City Engineer approval; including, but not limited to, public notice requirements, special street posting, phone listing for community concerns, hours of construction activity, dust control measures, and security fencing. \_\_\_/\_\_\_/\_\_\_

**D. Landscaping**

- 1. A detailed landscape and irrigation plan, including slope planting and model home landscaping in the case of residential development, shall be prepared by a licensed landscape architect and submitted for City Planner review and approval prior to the issuance of building permits or prior final map approval in the case of a custom lot subdivision. \_\_\_/\_\_\_/\_\_\_
  
- 2. All private slopes of 5 feet or more in vertical height and of 5:1 or greater slope, but less than 2:1 slope, shall be, at minimum, irrigated and landscaped with appropriate ground cover for erosion control. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy. \_\_\_/\_\_\_/\_\_\_



3. All private slopes in excess of 5 feet, but less than 8 feet in vertical height and of 2:1 or greater slope shall be landscaped and irrigated for erosion control and to soften their appearance as follows: one 15-gallon or larger size tree per each 150 sq. ft. of slope area, 1-gallon or larger size shrub per each 100 sq. ft. of slope area, and appropriate ground cover. In addition, slope banks in excess of 8 feet in vertical height and 2:1 or greater slope shall also include one 5-gallon or larger size tree per each 250 sq. ft. of slope area. Trees and shrubs shall be planted in staggered clusters to soften and vary slope plane. Slope planting required by this section shall include a permanent irrigation system to be installed by the developer prior to occupancy. \_\_\_/\_\_\_/\_\_\_
  
4. For single family residential development, all slope planting and irrigation shall be continuously maintained in a healthy and thriving condition by the developer until each individual unit is sold and occupied by the buyer. Prior to releasing occupancy for those units, an inspection shall be conducted by the Planning Division to determine that they are in satisfactory condition. \_\_\_/\_\_\_/\_\_\_
  
5. The final design of the perimeter parkways, walls, landscaping, and sidewalks shall be included in the required landscape plans and shall be subject to City Planner review and approval and coordinated for consistency with any parkway landscaping plan which may be required by the Engineering Division. \_\_\_/\_\_\_/\_\_\_
  
6. Special landscape features such as mounding, alluvial rock, specimen size trees, meandering sidewalks (with horizontal change), and intensified landscaping, is required along Base Line Road, Church Street, Day Creek Boulevard, Etiwanda Avenue, Victoria Park Lane and Arbor Boulevard. \_\_\_/\_\_\_/\_\_\_
  
7. Landscaping and irrigation systems required to be installed within the public right-of-way on the perimeter of this project area shall be continuously maintained by the developer. \_\_\_/\_\_\_/\_\_\_
  
8. All walls shall be provided with decorative treatment. If located in public maintenance areas, the design shall be coordinated with the Engineering Division. \_\_\_/\_\_\_/\_\_\_

**E. Environmental**

1. A final acoustical report shall be submitted for City Planner review and approval prior to the issuance of building permits. The final report shall discuss the level of interior noise attenuation to below 45 CNEL, the building materials and construction techniques provided, and if appropriate, verify the adequacy of the mitigation measures. The building plans will be checked for conformance with the mitigation measures contained in the final report. \_\_\_/\_\_\_/\_\_\_
  
2. Mitigation measures are required for the project. The applicant is responsible for the cost of implementing said measures, including monitoring and reporting. Applicant shall be required to post cash, letter of credit, or other forms of guarantee acceptable to the City Planner in the amount of \$719.00 prior to the issuance of building permits, guaranteeing satisfactory performance and completion of all mitigation measures. These funds may be used by the City to retain consultants and/or pay for City staff time to monitor and report on the mitigation measures. Failure to complete all actions required by the approved environmental documents shall be considered grounds for forfeit. \_\_\_/\_\_\_/\_\_\_

**F. Other Agencies**

1. The applicant shall contact the U.S. Postal Service to determine the appropriate type and location of mail boxes. Multi-family residential developments shall provide a solid overhead structure for mail boxes with adequate lighting. The final location of the mail boxes and the design of the overhead structure shall be subject to City Planner review and approval prior to the issuance of building permits. \_\_\_/\_\_\_/\_\_\_

APPLICANT SHALL CONTACT THE BUILDING AND SAFETY DIVISION, (909) 477-2710, OR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

G. General Requirements

- 1. Submit four complete sets of plans including the following:
  - a. Site/Plot Plan;
  - b. Foundation Plan;
  - c. Floor Plan;
  - d. Ceiling and Roof Framing Plan;
  - e. Electrical Plans (2 sets, detached) including the size of the main switch, number and size of service entrance conductors, panel schedules, and single line diagrams;
  - f. Plumbing and Sewer Plans, including isometrics, underground diagrams, water and waste diagram, sewer or septic system location, fixture units, gas piping, and heating and air conditioning; and
  - g. Planning Division Project Number (i.e., TT #, CUP #, DR #, etc.) clearly identified on the outside of all plans.
- 2. Submit two sets of structural calculations, energy conservation calculations, and a soils report. Architect's/Engineer's stamp and "wet" signature are required prior to plan check submittal.
- 3. Separate permits are required for fencing and/or walls.
- 4. Contractors must show proof of State and City licenses and Workers' Compensation coverage to the City prior to permit issuance.

\_\_\_\_/\_\_\_\_/\_\_\_\_

\_\_\_\_/\_\_\_\_/\_\_\_\_

\_\_\_\_/\_\_\_\_/\_\_\_\_

\_\_\_\_/\_\_\_\_/\_\_\_\_

APPLICANT SHALL CONTACT THE ENGINEERING DIVISION, (909) 477-2740, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

H. Dedication and Vehicular Access

- 1. Rights-of-way and easements shall be dedicated to the City for all interior public streets, community trails, public paseos, public landscape areas, street trees, traffic signal encroachment and maintenance, and public drainage facilities as shown on the plans and/or tentative map. Private easements for non-public facilities (cross-lot drainage, local feeder trails, etc.) shall be reserved as shown on the plans and/or tentative map.
- 2. Corner property line cutoffs shall be dedicated per City Standards.
- 3. Reciprocal access easements shall be provided ensuring access to all parcels by Cars or by deeds and shall be recorded concurrently with the map or prior to the issuance of building permits, where no map is involved.
- 4. All existing easements lying within future rights-of-way shall be quit-claimed or delineated on the final map.
- 5. Easements for public sidewalks and/or street trees placed outside the public right-of-way shall be dedicated to the City.

\_\_\_\_/\_\_\_\_/\_\_\_\_

\_\_\_\_/\_\_\_\_/\_\_\_\_

\_\_\_\_/\_\_\_\_/\_\_\_\_

\_\_\_\_/\_\_\_\_/\_\_\_\_

\_\_\_\_/\_\_\_\_/\_\_\_\_



Completion Date

- 6. Additional street right-of-way shall be dedicated along right turn lanes, to provide a minimum of 7 feet measured from the face of curbs. If curb adjacent sidewalk is used along the right turn lane, a parallel street tree maintenance easement shall be provided. \_\_\_/\_\_\_/\_\_\_
- 7. The developer shall make a good faith effort to acquire the required off-site property interests necessary to construct the required public improvements, and if he/she should fail to do so, the developer shall, at least 120 days prior to submittal of the final map for approval, enter into an agreement to complete the improvements pursuant to Government Code Section 66462 at such time as the City acquires the property interests required for the improvements. Such agreement shall provide for payment by the developer of all costs incurred by the City to acquire the off-site property interests required in connection with the subdivision. Security for a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer, at developer's cost. The appraiser shall have been approved by the City prior to commencement of the appraisal. This condition applies in particular, but not limited to: Base Line Road, Day Creek Boulevard, Church Street, Colonnade Drive. \_\_\_/\_\_\_/\_\_\_

**I. Street Improvements**

- 1. All public improvements (interior streets, drainage facilities, community trails, paseos, landscaped areas, etc.) shown on the plans and/or tentative map shall be constructed to City Standards. Interior street improvements shall include, but are not limited to, curb and gutter, AC pavement, drive approaches, sidewalks, street lights, and street trees. \_\_\_/\_\_\_/\_\_\_
- 2. A minimum of 26-foot wide pavement, within a 40-foot wide dedicated right-of-way shall be constructed for all half-section streets. \_\_\_/\_\_\_/\_\_\_
- 3. Construct the following perimeter street improvements including, but not limited to: \_\_\_/\_\_\_/\_\_\_

Street Name	Curb & Gutter	A.C. Pvmnt	Side-walk	Drive Appr.	Street Lights	Street Trees	Comm Trail	Median Island	Bike Trail	Other
Base Line Road	X	X	(c)		X	X	X	(a)		
Day Creek Boulevard	X	X	(c)		X	X	X	(a)		
Church Street	X	X	X		X	X	X	(a)		
Victoria Park Lane	X	X	(c)		X	X	X	(a)	X	
Etiwanda Avenue	X	(b)	X		X	X	X		X	

- 4. Improvement Plans and Construction:
  - a. Street improvement plans, including street trees, street lights, and intersection safety lights on future signal poles, and traffic signal plans shall be prepared by a registered Civil Engineer and shall be submitted to and approved by the City Engineer. Security shall be posted and an agreement executed to the satisfaction of the City Engineer and the City Attorney guaranteeing completion of the public and/or private street improvements, prior to final map approval or the issuance of building permits, whichever occurs first. \_\_\_/\_\_\_/\_\_\_
  - b. Prior to any work being performed in public right-of-way, fees shall be paid and a construction permit shall be obtained from the City Engineer's Office in addition to any other permits required. \_\_\_/\_\_\_/\_\_\_
  - c. Pavement striping, marking, traffic signing, street name signing, traffic signal conduit, and interconnect conduit shall be installed to the satisfaction of the City Engineer. \_\_\_/\_\_\_/\_\_\_
  - d. Signal conduit with pull boxes shall be installed with any new construction or reconstruction project along major or secondary streets and at intersections for future traffic signals and interconnect wiring. Pull boxes shall be placed on both sides of the street at 3 feet outside of BCR, ECR, or any other locations approved by the City Engineer \_\_\_/\_\_\_/\_\_\_

Notes:

- (1) Pull boxes shall be No. 6 at intersections and No. 5 along streets, a maximum of 200 feet apart, unless otherwise specified by the City Engineer.
- (2) Conduit shall be 3-inch (at intersections) or 2-inch (along streets) galvanized steel with pull rope or as specified.
- e. Handicapped access ramps shall be installed on all corners of intersections per City Standards or as directed by the City Engineer.
- f. Existing City roads requiring construction shall remain open to traffic at all times with adequate detours during construction. Street or lane closure permits are required. A cash deposit shall be provided to cover the cost of grading and paving, which shall be refunded upon completion of the construction to the satisfaction of the City Engineer.
- g. Concentrated drainage flows shall not cross sidewalks. Under sidewalk drains shall be installed to City Standards, except for single family residential lots.
- h. Street names shall be approved by the City Planner prior to submittal for first plan check.
- 5. Street trees, a minimum of 15-gallon size or larger, shall be installed per City Standards in accordance with the City's street tree program.
- 6. Intersection line of sight designs shall be reviewed by the City Engineer for conformance with adopted policy. On collector or larger streets, lines of sight shall be plotted for all project intersections, including driveways. Local residential street intersections and commercial or industrial driveways may have lines of sight plotted as required.
- 7. A permit shall be obtained from Caltrans for any work within the following right-of-way: Foothill Boulevard, Church Street at I-15 Freeway.

\_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_

**J. Public Maintenance Areas**

- 1. A separate set of landscape and irrigation plans per Engineering Public Works Standards shall be submitted to the City Engineer for review and approval prior to final map approval or issuance of building permits, whichever occurs first. The following landscaped parkways, medians, paseos, easements, trails or other areas shall be annexed into the Landscape Maintenance District: Day Creek Boulevard, Victoria Park Lane, Church Street, Arbor Lane, but not limited to.
- 2. Public landscape areas are required to incorporate substantial areas (40%) of mortared cobble or other acceptable non-irrigated surfaces.
- 3. A signed consent and waiver form to join and/or form the appropriate Landscape and Lighting Districts shall be filed with the City Engineer prior to final map approval or issuance of building permits whichever occurs first. Formation costs shall be borne by the developer.
- 4. All required public landscaping and irrigation systems shall be continuously maintained by the developer until accepted by the City.
- 5. Parkway landscaping on the following street(s) shall conform to the results of the respective Beautification Master Plan: Base Line Road and Day Creek Boulevard.

\_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_  
 \_\_\_\_/\_\_\_\_/\_\_\_\_

**K. Drainage and Flood Control**

- 1. A final drainage study shall be submitted to and approved by the City Engineer prior to final map approval or the issuance of building permits, whichever occurs first. All drainage facilities shall be installed as required by the City Engineer.

\_\_\_\_/\_\_\_\_/\_\_\_\_



Completion Date

- 2. Adequate provisions shall be made for acceptance and disposal of surface drainage entering the property from adjacent areas. \_\_\_/\_\_\_/\_\_\_
- 3. A permit from the San Bernardino County Flood Control District is required for work within its right-of-way. \_\_\_/\_\_\_/\_\_\_
- 4. Trees are prohibited within 5 feet of the outside diameter of any public storm drain pipe measured from the outer edge of a mature tree trunk. \_\_\_/\_\_\_/\_\_\_
- 5. Public storm drain easements shall be graded to convey overflows in the event of a blockage in a sump catch basin on the public street. \_\_\_/\_\_\_/\_\_\_

**L. Utilities**

- 1. Provide separate utility services to each parcel including sanitary sewerage system, water, gas, electric power, telephone, and cable TV (all underground) in accordance with the Utility Standards. Easements shall be provided as required. \_\_\_/\_\_\_/\_\_\_
- 2. The developer shall be responsible for the relocation of existing utilities as necessary. \_\_\_/\_\_\_/\_\_\_
- 3. Water and sewer plans shall be designed and constructed to meet the requirements of the Cucamonga County Water District (CCWD), Rancho Cucamonga Fire Protection District, and the Environmental Health Department of the County of San Bernardino. A letter of compliance from the CCWD is required prior to final map approval or issuance of permits, whichever occurs first. Such letter must have been issued by the water district within 90 days prior to final map approval in the case of subdivision or prior to the issuance of permits in the case of all other residential projects. \_\_\_/\_\_\_/\_\_\_
- 4. Approvals have not been secured from all utilities and other interested agencies involved. Approval of the final parcel map will be subject to any requirements that may be received from them. \_\_\_/\_\_\_/\_\_\_

**M. General Requirements and Approvals**

- 1. Prior to approval of the final map, a deposit shall be posted with the City covering the estimated cost of apportioning the assessments under Assessment District Day Creek among the newly created parcels. \_\_\_/\_\_\_/\_\_\_
- 2. Etiwanda/San Sevaine Area Regional Mainline, Secondary Regional, and Master Plan Drainage Fees shall be paid prior to final map approval or prior to building permit issuance if no map is involved. \_\_\_/\_\_\_/\_\_\_
- 3. Permits shall be obtained from the following agencies for work within their right-of-way: Caltrans – Foothill Boulevard; SBCFD – Day Creek Channel; CALTRANS – I-15 ; SCE – SCE Right of Way. \_\_\_/\_\_\_/\_\_\_
- 4. A non-refundable deposit shall be paid to the City, covering the estimated operating costs for all new street lights for the first six months of operation, prior to final map approval or prior to building permit issuance if no map is involved. \_\_\_/\_\_\_/\_\_\_
- 5. Prior to finalization of any development phase, sufficient improvement plans shall be completed beyond the phase boundaries to assure secondary access and drainage protection to the satisfaction of the City Engineer. Phase boundaries shall correspond to lot lines shown on the approved tentative map. \_\_\_/\_\_\_/\_\_\_

APPLICANT SHALL CONTACT THE FIRE PREVENTION/NEW CONSTRUCTION UNIT, (909) 477-2730, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

N. General Fire Protection Conditions

1. Mello Roos Community Facilities District requirements shall apply to this project. The developer shall commence, participate in, and consummate or cause to be commenced, participated in, or consummated, a Mello-Roos Community Facilities District (CFD) for the Rancho Cucamonga Fire Protection District to finance construction and/or maintenance of a fire station to serve the development. The CFD shall be formed by the District and the developer by the time recordation of the final map occurs.

\_\_\_/\_\_\_/\_\_\_

2. Fire flow requirement shall be:

\_\_\_/\_\_\_/\_\_\_

- a. 1500 gallons per minute, Per '97 UFC Appendix III-A, 5, (b) (Table).
- b. A fire flow shall be conducted by the builder/developer and witnessed by fire department personnel prior to water plan approval.
- c. For the purpose of final acceptance, an additional fire flow test of the on-site hydrants shall be conducted by the builder/developer and witnessed by fire department personnel after construction and prior to occupancy.

3. Fire hydrants are required. All required public or on-site fire hydrants shall be installed, flushed, and operable prior to delivery of any combustible building materials on site (i.e., lumber, roofing materials, etc.). Hydrants flushing shall be witnessed by fire department personnel.

\_\_\_/\_\_\_/\_\_\_

4. Existing fire hydrant locations shall be provided prior to water plan approval. Required hydrants, if any, will be determined by the Fire District. Fire District standards require a 6-inch riser with a 4-inch and a 2-1/2-inch outlet. Substandard hydrants shall be upgraded to meet this standard. Contact the Fire Safety Division for specifications on approved brands and model numbers.

\_\_\_/\_\_\_/\_\_\_

5. Prior to the issuance of building permits for combustible construction, evidence shall be submitted to the Fire District that an approved temporary water supply for fire protection is available, pending completion of the required fire protection system.

\_\_\_/\_\_\_/\_\_\_

6. Hydrant reflective markers (blue dots) shall be required for all hydrants and installed prior to final inspection.

\_\_\_/\_\_\_/\_\_\_

7. An automatic fire extinguishing system(s) will be required as noted below:

\_\_\_/\_\_\_/\_\_\_

X Other: Lots 1-59 (Phase 7): Lots 1-20, 23-56, 59-63, 92-129 (Phase 1) and Tiffany Place Lots 5-10 and 12.

- a. Provide a second means of egress/access and reduce dead-end roadways to 600 feet or less; or
- b. Provide approved automatic fire sprinkler system in subject lots in accordance with NFPA 13D.

Note: Special sprinkler densities are required for such hazardous operations as woodworking, plastics manufacturing, spray painting, flammable liquids storage, high piled stock, etc. Contact the Fire Safety Division to determine if the sprinkler system is adequate for proposed operations.

8. Roadways within project shall comply with the Fire District's fire lane standards, as noted:

\_\_\_/\_\_\_/\_\_\_

X All roadways per Rancho Cucamonga Fire Protection District Ordinance 32.

X Other: City street standards



Completion Date

9. Fire department access shall be amended to facilitate emergency apparatus. 'W-W' Street north of Mosaic Drive is greater than 150 feet in length. Provide an approved turnaround for fire apparatus; or provide approved automatic fire sprinkler system in subject lots in accordance with NFPA 13D.

\_\_\_/\_\_\_/\_\_\_

10. Emergency secondary access shall be provided in accordance with Fire District standards.

\_\_\_/\_\_\_/\_\_\_

11. Emergency access, a minimum of 26 feet wide, shall be provided, and maintained free and clear of obstructions at all times during construction, in accordance with Fire District requirements.

\_\_\_/\_\_\_/\_\_\_

12. All trees and shrubs planted in any median shall be kept trimmed to a minimum of 14 feet, 6 inches from the ground up, so as not to impede fire apparatus.

\_\_\_/\_\_\_/\_\_\_

13. Fire District fee(s), plus a \$1 per "plan page" microfilm fee will be due to the Rancho Cucamonga Fire Protection District as follows:

\_\_\_/\_\_\_/\_\_\_

  X   \$132 for CCWD Water Plan review/underground water supply.

  X   \$132 for Single Family Residential Tract (per phase).

\*\*Note: Separate plan check fees for Tenant Improvement work, fire protection systems (sprinklers, hood systems, alarms, etc.) and/or any consultant reviews will be assessed upon submittal of plans.

14. Plans shall be submitted and approved prior to construction in accordance with 1997 UBC, UFC, UPC, UMC, and RCFD Standards 32 and 15 and 1996 NEC.

\_\_\_/\_\_\_/\_\_\_

**APPLICANT SHALL CONTACT THE POLICE DEPARTMENT, (909) 477-2800, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:**

**O. Security Lighting**

1. All parking, common, and storage areas shall have minimum maintained 1-foot candle power. These areas should be lighted from sunset to sunrise and on photo sensed cell.

\_\_\_/\_\_\_/\_\_\_

2. All buildings shall have minimal security lighting to eliminate dark areas around the buildings, with direct lighting to be provided by all entryways. Lighting shall be consistent around the entire development.

\_\_\_/\_\_\_/\_\_\_

3. Lighting in exterior areas shall be in vandal-resistant fixtures.

\_\_\_/\_\_\_/\_\_\_

**P. Security Hardware**

1. A secondary locking device shall be installed on all sliding glass doors.

\_\_\_/\_\_\_/\_\_\_

2. One-inch single cylinder dead bolts shall be installed on all entrance doors. If windows are within 40 inches of any locking device, tempered glass or a double cylinder dead bolt shall be used.

\_\_\_/\_\_\_/\_\_\_

3. All garage or rolling doors shall have slide bolts or some type of secondary locking devices.

\_\_\_/\_\_\_/\_\_\_

**Q. Windows**

1. All sliding glass windows shall have secondary locking devices and should not be able to be lifted from frame or track in any manner.

\_\_\_/\_\_\_/\_\_\_

2. Security/burglar bars are not recommended, particularly in residences, due to the delay or prevention of a speedy evacuation in case of fire..

\_\_\_/\_\_\_/\_\_\_

**R. Building Numbering**

1. Numbers and the backgrounds shall be of contrasting color and shall be reflective for nighttime visibility.

\_\_\_\_/\_\_\_\_/\_\_\_\_





RESOLUTION NO. 03-53

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, APPROVING A MODIFICATION TO PLANNING CONDITION NO. 19 OF PLANNING COMMISSION RESOLUTION NO. 01-25 (TO ALLOW RECREATIONAL VEHICLE STORAGE WITHIN A 1-MILE RADIUS OF THE EXTERIOR BOUNDARY OF THE VICTORIA ARBORS MASTER PLANNED COMMUNITY) FOR TENTATIVE TRACT MAP NO. 15974, A RESIDENTIAL SUBDIVISION WITHIN THE RESIDENTIAL MASTER PLAN FOR VICTORIA ARBORS, IN THE MIXED USE DISTRICT OF THE VICTORIA COMMUNITY PLAN, GENERALLY LOCATED SOUTH OF BASE LINE ROAD, WEST OF ETIWANDA AVENUE, NORTH OF FUTURE CHURCH STREET, AND EAST OF DAY CREEK CHANNEL, AND MAKING FINDINGS IN SUPPORT THEREOF – APN: 0227-161-28, 31, 33, 35, 36 AND 38; 0227-171-08, 11, 12, 20, 22, 23, AND 25; AND 227-211-40.

A. Recitals.

1. On March 7, 2001, this Commission approved and adopted Resolution No. 01-25 approving Tentative Tract Map No. 15974 (the "Tentative Tract Map 15974").

2. American Beauty Development Company filed an application for an amendment to Condition No. 19 of the Planning Division Conditions of Approval (as set forth in Section B.5 of Resolution No. 01-25), as described in the title of this Resolution. Hereinafter in this Resolution, the subject Tentative Tract Map Amendment Request is referred to as "the application."

3. On \_\_\_\_\_, 2003, the City Council will consider the adoption of Ordinance No. \_\_\_\_\_ (the "RV Storage Ordinance") to amend Condition No. 5 of the General Conditions to the Community Plan to allow recreational vehicle storage to be provided by approved facilities within a 1-mile radius of the exterior boundary of the Victoria Planned Community.

4. If adopted, the RV Storage Ordinance will become effective on \_\_\_\_\_, 2003 (the "RV Storage Ordinance effective date").

5. In order to ensure consistency between Tentative Tract 15974, the General Plan, the Development Review, and the Victoria Community Plan, this Resolution will become effective on the date it is adopted and will become operative on the RV Storage Ordinance Effective Date.

6. On March 26, 2003, this Commission conducted a duly noticed public hearing on the application and concluded said meeting on that date.

7. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:





1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon the substantial evidence presented to this Commission during the above-referenced meeting on March 26, 2003, including written and oral staff reports, this Commission hereby specifically finds as follows:

a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, future Church Street to the south, and Day Creek Channel to the west; and the site is presently unimproved land; and

b. The property to the north of the subject site consists of existing single-family residential and a commercial center within the Windrows Village of the Victoria Community Plan; the property to the south is being graded for the Victoria Gardens regional center (approximately 175 acres); the property to the east is vacant, unimproved land with a Low-Medium Density Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor; and

c. The proposed project consists of 555 single-family residential lots, and 13 letter lots for open space, parks, trails, and an elementary school; and

d. The proposed project is consistent with the General Plan Mixed Use District as further defined in the Victoria Community Plan and the Victoria Arbors Master Plan (Development Review 01-04); and

e. The proposed project conforms to the standards and regulations in Victoria Community Plan, and the Victoria Arbors Master Plan (Development Review 01-04); and

f. The developer is required to complete all public improvements as listed in the conditions of approval section of Resolution No. 01-25; and

g. The proposed project will continue to comply with the environmental mitigation listed in the EIR document entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137;" and

h. The proposed project and the intended use together with all conditions of approval and the mitigation will continue not to be detrimental to the health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

3. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. Tentative Tract 15974 continues to be consistent with the General Plan, the Development Code, and the Victoria Community Plan; and

b. The design or improvements of Tentative Tract 15974 continue to be consistent with the General Plan, the Development Code, and the Victoria Community Plan; and



c. The site continues to be physically suitable for the type of development proposed; and

d. The design of the subdivision continues to not likely cause substantial environmental damage and avoidable injury to humans and wildlife or their habitat; and

e. Tentative Tract 15974 continues to not likely cause serious public health problems; and

f. The design of the Tentative Tract 15974 continues to not conflict with any easement acquired by the public at large, now of record, for access through or use of the property within the proposed subdivision.

4. This Commission hereby determines that none of the elements set forth in Public Resources Code Section 21166 or Section 15162 of the California Environmental Quality Act Guidelines ("CEQA Guidelines") exists and therefore determines, in accordance with Public Resources Code Section 21166 and Section 15162 of the CEQA Guidelines, that no subsequent or supplemental Environmental Impact Report or Mitigated Negative Declaration is required to be prepared prior to adopting this Resolution.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below:

- 1) Condition No. 19 of the Planning Division Conditions of Approval for the Tentative Tract 15974 is hereby revised to read as follows:

"Recreational Vehicle (RV) storage shall be provided within the Low, Low-Medium, and Medium Residential land use category for 20 percent of the lots. RV storage may be provided in a designated Community Facility lot within Victoria Arbors Village, or provided by approved facilities within a 1-mile radius of the exterior boundary of the Victoria Arbors Village."

- 2) Except as set forth in paragraph 1) above, each and every condition set forth in Section 5 of Resolution No. 01-25, including the Standard Conditions, shall remain in full force and effect.
- 3) This Resolution shall become effective on the date it is adopted and will become operative on the RV Storage Ordinance Effective Date.

6. This Commission adopted Resolution No. 01-21 on February 28, 2001 approving Development Review 00-17 for a recreational vehicle and boat storage facility on 3.7 acres of land in the General Industrial District, located on the north site of Arrow Route in the Southern California Edison power line easement, adjacent and west of the Day Creek Channel (the "Cucamonga RV Storage Facility") and is adopting, concurrently with this Resolution No. 03-53, Resolution No. 03-55, whereby the management of Rancho Cucamonga RV and Boat Storage is required to give priority and preference to RV storage/rental applications from residents within Victoria Arbors (for a minimum 135 RV spaces). Based on the foregoing, this Commission





RESOLUTION NO. 03-54

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, APPROVING A MODIFICATION TO PLANNING CONDITION NO. 22 OF PLANNING COMMISSION RESOLUTION NO. 01-23 (TO ALLOW RECREATIONAL VEHICLE STORAGE WITHIN A 1-MILE RADIUS OF THE EXTERIOR BOUNDARY OF THE VICTORIA ARBORS MASTER PLANNED COMMUNITY) FOR DEVELOPMENT REVIEW NO. DRCDR01-04 FOR A RESIDENTIAL MASTER PLAN FOR VICTORIA ARBORS ON APPROXIMATELY 300.64 ACRES, LOCATED IN THE MIXED USE DISTRICT OF THE VICTORIA COMMUNITY PLAN, GENERALLY BOUNDED BY BASE LINE ROAD TO THE NORTH, ETIVANDA AVENUE TO THE EAST, FOOTHILL BOULEVARD TO THE SOUTH, AND DAY CREEK CHANNEL TO THE WEST, AND MAKING FINDINGS IN SUPPORT THEREOF - APN: 0227-161-28, 31, 33, 35, 36, AND 38; 0227-171-08, 11, 12, 20, 22, 23; 0227-201-04, 13 THROUGH 18, 22, 28 THROUGH 31, 33, AND 36; AND 25; AND 0227-211-40.

A. Recitals.

1. On March 7, 2001, this Commission approved and adopted Resolution No. 01-04 approving a Development Review for the Residential Master Plan for Victoria Arbors (the "Development Review").

2. American Beauty Development Company filed an application for an amendment to Condition No. 22 of the Planning Division's Conditions of Approval (as set forth in Section B.5 of Resolution No. 01-04), as described in the title of this Resolution. Hereinafter in this Resolution, the subject Development Review Amendment Request is referred to as "the application."

3. On \_\_\_\_\_, 2003, the City Council will consider the adoption of Ordinance No. \_\_\_\_\_ (the "RV Storage Ordinance") to amend Condition No. 5 of the General Conditions to the Community Plan to allow recreational vehicle storage to be provided by approved facilities within a 1-mile radius of the exterior boundary of the Victoria Planned Community.

4. If adopted, the RV Storage Ordinance will become effective on \_\_\_\_\_, 2003 (the "RV Storage Ordinance effective date").

5. In order to ensure consistency between the Development Review and the General Plan, the Development Code and the Victoria Community Plan, this Resolution will become effective on the date it is adopted and will become operative on the RV Storage Ordinance Effective Date.

6. On March 26, 2003, this Commission conducted a duly noticed public hearing on the application and concluded said meeting on that date.

7. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:





1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon the substantial evidence presented to this Commission during the above-referenced meeting on March 26, 2003, including written and oral staff reports, this Commission hereby specifically finds as follows:

a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, Foothill Boulevard to the south, and Day Creek Channel to the west; and

b. The property to the north of the subject site consists of existing single-family residential and a commercial center within the Windrows Village of the Victoria Community Plan; the property to the south is being graded for a future Victoria Gardens regional center (approximately 175 acres); the property to the east is vacant, unimproved land with a Low-Medium Density Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor; and

c. The proposed project continues to be consistent with the General Plan Mixed Use District as further defined in the Victoria Community Plan; and

d. The proposed project continues to conform to the standards and regulations in Victoria Community Plan; and

e. The proposed project will continue to comply with the environmental mitigation listed in the EIR document entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137."

3. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. The proposed project continues to be consistent with the objectives of the General Plan; and

b. The proposed use continues to be in accord with the objectives of the Victoria Community Plan and the purposes of the district in which the site is located; and

c. The proposed use continues to be in compliance with each of the applicable provisions of the Victoria Community Plan; and

d. The proposed use together with the conditions applicable thereto will continue not to be detrimental to the health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

4. This Commission hereby determines that none of the elements set forth in Public Resources Code Section 21166 or Section 15162 of the California Environmental Quality Act Guidelines ("CEQA Guidelines") exists and therefore determines, in accordance with Public Resources Code Section 21166 and Section 15162 of the CEQA Guidelines, that no



subsequent or supplemental Environmental Impact Report or Mitigated Negative Declaration is required to be prepared, prior to adopting this Resolution.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below:

- 1) Condition No. 22 of the Planning Division Conditions of Approval for the Development Review is hereby revised to read as follows:

“Recreational Vehicle (RV) Storage shall be provided within the Low, Low-Medium and Medium Residential land use category for 20 percent of the lots. RV Storage may be provided in a designated Community Facility lot within Victoria Arbors Village or provided by approved facilities within a 1-mile radius of the exterior boundary of the Victoria Arbors Village.”

- 2) Except as set forth in paragraph 1) above, each and every condition set forth in Section 5 of Resolution No. 01-04, including the Standard Conditions, shall remain in full force and effect.
- 3) This Resolution shall become effective on the date it is adopted and will become operative on the RV Storage Ordinance Effective Date.

6. This Commission adopted Resolution No. 01-21 on February 28, 2001 approving Development Review 00-17 for a recreational vehicle and boat storage facility on 3.7 acres of land in the General Industrial District, located on the north site of Arrow Route in the Southern California Edison power line easement, adjacent and west of the Day Creek Channel (the "Cucamonga RV Storage Facility") and is adopting, concurrently with this Resolution No. 03-54, Resolution No. 03-55, whereby the management of Rancho Cucamonga RV and Boat Storage is required to give priority and preference to RV storage/rental applications from residents within Victoria Arbors (for a minimum 135 RV spaces). Based on the foregoing, this Commission hereby finds that the Cucamonga RV Storage Facility (a) constitutes an "approved facility" in accordance with the provisions of the RV Storage Ordinance and (b) shall be deemed to satisfy Condition No. 22 (as revised above) of the Planning Division Conditions of Approval for the Victoria Master Plan DRCDR01-04.

7. The Secretary to this Commission shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED THIS 26TH DAY OF MARCH 2003.

PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA

BY:

  
Larry McNiel, Chairman





PLANNING COMMISSION RESOLUTION NO. 03-54  
DR 01-04 – AMERICAN BEAUTY DEV. CO.  
March 26, 2003  
Page 4

ATTEST:

  
Brad Buller, Secretary

I, Brad Buller, Secretary of the Planning Commission of the City of Rancho Cucamonga, do hereby certify that the foregoing Resolution was duly and regularly introduced, passed, and adopted by the Planning Commission of the City of Rancho Cucamonga, at a regular meeting of the Planning Commission held on the 26th day of March 2003, by the following vote-to-wit:

AYES: COMMISSIONERS: MCNIEL, STEWART, TOLSTOY

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: MACIAS









RESOLUTION NO. 03-73

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, APPROVING MODIFICATION NO. 2 TO DEVELOPMENT REVIEW DRCDR01-04 FOR A REQUEST TO MODIFY THE PATTERN OF RESIDENTIAL USES FOR THE PLANNING AREA WEST OF DAY CREEK BOULEVARD, SOUTH OF CHURCH STREET, MODIFY VARIOUS GRAPHICS, AND ADD DESIGN GUIDELINES FOR MULTI-FAMILY AND COMMERCIAL DEVELOPMENT WITHIN THE VICTORIA ARBORS MASTER PLAN, GENERALLY BOUNDED BY BASE LINE ROAD, ETIWANDA AVENUE, FOOTHILL BOULEVARD, AND DAY CREEK CHANNEL, AND MAKING FINDINGS IN SUPPORT THEREOF - APN: 0227-161-28, 31, 33, 35, 36, AND 38; 0227-171-08, 11, 12, 20, 22, 23, AND 25; 0227-201-04, 13 THRU 18, 22, 28 THRU 31, 33, AND 36; AND 0227-211-40.

A. Recitals.

1. On March 7, 2001, the Planning Commission approved and adopted Resolution No. 01-04 approving a Development Review for the Residential Master Plan for Victoria Arbors (the "Development Review").

2. On March 26, 2003, the Planning Commission approved Amendment No. 1 through the adoption of Resolution No. 03-54, amending Condition No. 22 of the Planning Division Conditions of Approval to allow recreational vehicle storage to be provided by approved facilities within a 1-mile radius of the exterior boundary of the Victoria Planned Community.

3. American Beauty Development Company filed an application for Amendment No. 2 to Development Review No. DRCDR01-04, as described in the title of this Resolution, hereinafter in this Resolution, the subject Development Review Amendment Request is referred to as "the application."

4. On May 14, 2003, this Commission conducted a duly noticed public hearing on the application and concluded said meeting on that date.

5. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:

1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon the substantial evidence presented to this Commission during the above-referenced meeting on May 14, 2003, including written and oral staff reports, this Commission hereby specifically finds as follows:

a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, Foothill Boulevard to the south, and Day Creek Channel to the west; and





b. The property to the north of the subject site consists of existing single-family residential and a commercial center within the Windrows Village of the Victoria Community Plan; the property to the south is being graded for the future Victoria Gardens Regional Center (approximately 175 acres); the property to the east is vacant, unimproved land with a Low-Medium Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor; and

c. The proposed project continues to be consistent with the General Plan Mixed Use District as further defined in the Victoria Community Plan; and

d. The proposed project continues to conform to the standards and regulations in Victoria Community Plan; and

e. The proposed project will continue to comply with the environmental mitigation listed in the EIR document entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137."

3. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. The proposed project continues to be consistent with the objectives of the General Plan; and

b. The proposed use continues to be in accord with the objectives of the Victoria Community Plan and the purposes of the district in which the site is located; and

c. The proposed use continues to be in compliance with each of the applicable provisions of the Victoria Community Plan; and

d. The proposed use together with the conditions applicable thereto will continue not to be detrimental to the health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

4. This Commission hereby determines that none of the elements set forth in Public Resources Code Section 21166 or Section 15162 of the California Environmental Quality Act Guidelines ("CEQA Guidelines") exists and therefore determines, in accordance with Public Resources Code Section 21166 and Section 15162 of the CEQA Guidelines, that no subsequent or supplemental Environmental Impact Report or Mitigated Negative Declaration is required to be prepared, prior to adopting this Resolution.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below:

Planning Division

- 1) Approve the changes as shown in the May 14, 2003, Staff Report Exhibit "C" titled Victoria Arbors Master Plan Amendment dated May 7, 2003.

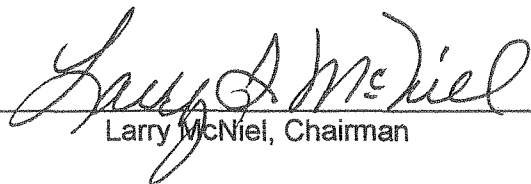


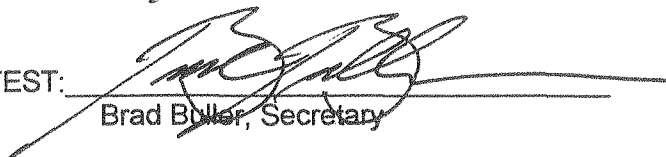


- 2) Provide buffering between single-family and multi-family development, and between commercial and residential development.
  - 3) The design for multi-family development should not have buildings that line up along the streets or exhibit a rigid orientation pattern. The site design should have a campus-like setting with generous open space.
  - 4) All conditions of approval contained in Planning Commission Resolution Nos. 01-23 and 03-54 shall apply.
6. The Secretary to this Commission shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED THIS 14TH DAY OF MAY 2003.

PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA

BY:   
Larry McNiel, Chairman

ATTEST:   
Brad Buller, Secretary

I, Brad Buller, Secretary of the Planning Commission of the City of Rancho Cucamonga, do hereby certify that the foregoing Resolution was duly and regularly introduced, passed, and adopted by the Planning Commission of the City of Rancho Cucamonga, at a regular meeting of the Planning Commission held on the 14th day of May 2003, by the following vote-to-wit:

AYES: COMMISSIONERS: FLETCHER, MACIAS, McNIEL, STEWART

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: McPHAIL



RESOLUTION NO. 03-150

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, APPROVING A MODIFICATION TO TENTATIVE TRACT MAP NO. SUBTT15974, BY ADDING THREE OUT PARCELS CONSISTING OF 10 SINGLE-FAMILY LOTS WITHIN VICTORIA ARBORS MASTER PLAN AND TREE REMOVAL PERMIT DRC2003-00639, IN THE MIXED USE DISTRICT OF THE VICTORIA COMMUNITY PLAN, GENERALLY BOUNDED BY BASE LINE ROAD, ETIWANDA AVENUE, CHURCH STREET, AND DAY CREEK CHANNEL, AND MAKING FINDINGS IN SUPPORT THEREOF – APN: 0227-161-39 THRU 46 AND 0227-171-13, 19, 21, 26 THRU 35, 37, 38, AND 39.

A. Recitals.

1. On March 7, 2001, the Planning Commission approved and adopted Resolution No. 01-25, approving Tentative Tract Map No. 15974 (Tentative Tract Map 15974).
2. Standard Pacific filed an application for a modification to the Tentative Tract Map SUBTT15974, as described in the title of this Resolution. Hereinafter in this Resolution, the subject Tentative Tract Map Amendment Request is referred to as "the application."
3. On October 22, 2003, this Commission conducted a duly noticed public hearing on the application and concluded said meeting on that date.
4. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:

1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.
2. Based upon the substantial evidence presented to this Commission during the above-referenced meeting on October 22, 2003, including written and oral staff reports, this Commission hereby specifically finds as follows:
  - a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, Church Street to the south, and Day Creek Channel to the west; and the site is presently graded for future construction of homes.
  - b. The property to the north of the subject site consists of existing single-family residential and a commercial center within the Windrows Village of the Victoria Community Plan; the property to the south is being graded for the Victoria Gardens regional center (approximately 175 acres); the property to the east is vacant, unimproved land with a Low-Medium Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor.





c. The proposed project consists of adding three out parcels of approximately 3 acres and 10 single-family lots to a previously approved Tentative Tract Map SUBTT15974.

d. The previously approved Tentative Tract Map SUBTT15974 included a master plan subdivision concept that contained the three out parcels. The addition of the 10 single-family lots is consistent with the master plan concept subdivision. The total number of lots with the proposed project is 565 for Tentative Tract Map SUBTT15974.

e. The proposed project is consistent with the General Plan Mixed Use District as further defined in the Victoria Community Plan and the Victoria Arbors Master Plan (Development Review 01-04).

f. The proposed project conforms to the standards and regulations in Victoria Community Plan, and the Victoria Arbors Master Plan (Development Review DRCDR01-04).

g. The developer is required to complete all public improvements as listed in the conditions of approval section of Planning Commission Resolution No. 01-25; and

h. The proposed project will continue to comply with the environmental mitigation listed in the EIR document entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137.

i. The proposed project and the intended use together with all conditions of approval and the mitigation will continue not to be detrimental to the health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

3. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. Tentative Tract Map SUBTT15974 continues to be consistent with the General Plan, the Development Code, and the Victoria Community Plan; and

b. The design or improvements of Tentative Tract Map SUBTT15974 continue to be consistent with the General Plan, the Development Code, and the Victoria Community Plan; and

c. The site continues to be physically suitable for the type of development proposed; and

d. The design of the subdivision continues to not likely cause substantial environmental damage and avoidable injury to humans and wildlife or their habitat; and

e. Tentative Tract Map SUBTT15974 continues to not likely cause serious public health problems; and

f. The design of the Tentative Tract Map SUBTT15974 continues to not conflict with any easement acquired by the public at large, now of record, for access through or use of the property within the proposed subdivision.





4. Based upon the facts and information contained in the proposed Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," together with all written and oral reports, the Planning Commission hereby approves the Addendum and finds that there is no substantial evidence that the project will have a significant effect upon the environment based upon the findings as follows:

a. That on July 7, 1999, the City Council of the City of Rancho Cucamonga adopted Resolution No. 99-148 certifying the environmental document entitled as the "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," and on December 20, 2000, adopted Resolution No. 00-266 approving the Statement of Facts and Findings and Overriding Consideration.

b. That the Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" has been prepared in compliance with the California Environmental Quality Act of 1970, as amended, and the State CEQA guidelines promulgated thereunder; that said Addendum prepared therefore reflect the independent judgment of the Planning Commission; and, further, this Commission has reviewed and considered the information contained in said Addendum with regard to the application.

c. The Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" identifies that all significant effects have been reduced to an acceptable level by imposition of mitigation measures on the project which are listed below as conditions of approval.

d. Pursuant to the provisions of Section 753.5(c) of Title 14 of the California Code of Regulations, the Planning Commission finds as follows: In considering the record as a whole, the Addendum to the Certified Final EIR entitled Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137 for the project, there is no evidence that the proposed project will have potential for an adverse impact upon wildlife resources or the habitat upon which wildlife depends. Further, based upon the substantial evidence contained in the Addendum, the staff reports and exhibits, and the information provided to the Planning Commission during the public hearing, the Planning Commission hereby rebuts the presumption of adverse effect as set forth in Section 753.5(c-1-d) of Title 14 of the California Code of Regulations.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below:

Planning Division

- 1) Each and every condition set forth in Planning Commission Resolutions No. 01-25 and No. 03-53, including the Standard Conditions, shall remain in full force and effect.
- 2) Each and every mitigation measures set forth in the Mitigation Monitoring Program contained in the Final EIR entitled "Final Environmental Impact Report Victoria Arbors village SCH No.



98041137" except for Mitigation Measures 4.7.3A, 4.7.3B, and 4.7.3D shall remain in full force and effect.

- 3) Tree Removal Permit DRC2003-00639 is hereby approved. Remove all dead and infested trees from the site and dispose of all infested wood from the site.
- 4) The Italian stone pine closest to the end of cul-de-sac of Hitching Post Court on Lot 33 of TR 16372 shall be preserved in place. The tree shall be trimmed, maintained, and watered; and fenced around for protection from grading and construction activities. Protection of the tree shall follow the Tree Preservation Study prepared for TR 16372 dated July 25, 2003.
- 5) A 20-foot easement along the north boundary of the Diamond property shall be provided, and shall be landscaped and identified as a non-buildable area to be maintained as a buffer zone in perpetuity and identified as such on the final map. The final design of the buffer zone shall be subject to City Planner review and approval prior to final map approval.
- 6) The developer shall provide each prospective buyer written notice of the adjacent winery, and the banquet facility. The written notice must disclose the uses and operation within the winery and banquet facility and in a format as approved by the City Planner, prior to issuance of building permits.
- 7) The developer shall provide each prospective buyer written notice of the Victoria Gardens regional center, the theatres and the Cultural and Library center. The standard format for the written notice shall be submitted for City Planner review and approval prior to issuance of building permits.
- 8) The developer shall provide each prospective buyer of the affected lots adjacent to the winery written notice of the required 20-foot landscape buffer with a non-buildable deed restriction in perpetuity. The standard format for the written notice shall be submitted for City Planner review and approval prior to issuance of building permits.
- 9) The developer shall submit signed notice from the prospective buyer to the City for records.
- 10) Provide conduit from each unit/lot and a pull box to connect to the street, provide interior structured wiring for each house/building with minimum Category 5 copper wire, Radio Grade 6 coaxial cable, and a central distribution panel, prior to release of occupancy (fiber-to-the-building, FTTB). Plans shall be submitted for City Planner and Building Official review and approval prior to issuance of building permits.





prospective buyer of Lot 29 of TR 16371 written notice of the ownership and the maintenance of a strip of land south of Old Port Court.

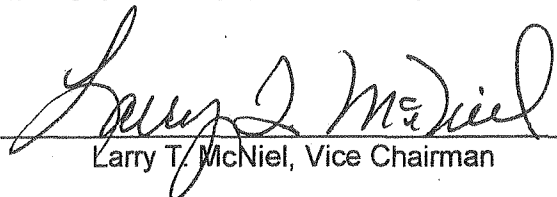
- 12) The developer shall plant and irrigate a Eucalyptus windrow of 15-gallon size at 8 feet on center along the north side of north property boundary wall of lots 31 and 32 of TR 16371. Plans shall be submitted for City Planner review and approval prior to issuance of building permits.

Engineering Division

- 1) Each and every condition set forth in Planning Commission Resolutions No. 01-25 and No. 03-53, including the Standard Conditions, shall remain in full force and effect.
  - 2) Provide a minimum of 3-inch conduit for future fiber optic use on all streets with connection through the parkway to each lot or parcel (fiber-to-the-curb, FTTC). The size, placement, and location of the conduit shall be shown on the Street Improvement Plans and subjected to City Engineer review and approval, prior to issuance of building permits or final map approval, whichever comes first.
6. The Secretary to this Commission shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED THIS 22ND DAY OF OCTOBER 2003.

PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA

BY:   
Larry T. McNeil, Vice Chairman

ATTEST:   
Brad Buller, Secretary

I, Brad Buller, Secretary of the Planning Commission of the City of Rancho Cucamonga, do hereby certify that the foregoing Resolution was duly and regularly introduced, passed, and adopted by the Planning Commission of the City of Rancho Cucamonga, at a regular meeting of the Planning Commission held on the 27th day of August 2003, by the following vote-to-wit:

AYES: COMMISSIONERS: FLETCHER, McNIEL, McPHAIL, STEWART

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: MACIAS





RESOLUTION NO. 03-151

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA, CALIFORNIA, APPROVING MODIFICATION NO. 3 TO DEVELOPMENT REVIEW DRCDR01-04 TO AMEND THE MASTER PLAN BY ADDING THREE OUT PARCELS CONSISTING 10 SINGLE-FAMILY LOTS INTO THE PROJECT AREA WITHIN THE VICTORIA ARBORS MASTER PLAN, IN THE MIXED USE DISTRICT OF THE VICTORIA COMMUNITY PLAN, GENERALLY BOUNDED BY BASE LINE ROAD, ETIWANDA AVENUE, FOOTHILL BOULEVARD, AND DAY CREEK CHANNEL, AND MAKING FINDINGS IN SUPPORT THEREOF - APN: 0227-161-39 THRU 46; 0227-171-13, 19, 21, 26 THRU 35, 37, 38, AND 39; 0227-210-37 THROUGH 44.

A. Recitals.

1. On March 7, 2001, the Planning Commission approved and adopted Resolution No. 01-04 approving a Development Review for the Residential Master Plan for Victoria Arbors (the "Development Review").

2. On March 26, 2003, the Planning Commission approved and adopted Resolution No. 03-54, Amendment No. 1 in modifying Condition No. 22 of the Planning Division Conditions of approval to allow recreational vehicle storage to be provided by approved facilities within a 1-mile radius of the exterior boundary of the Victoria Planned Community.

3. On May 14, 2003, the Planning Commission approved and adopted Resolution No. 03-73, Amendment No. 2 in modifying the pattern of residential uses for the planning area west of Day Creek Boulevard and south of Church Street, various graphics and adding design guidelines for multi-family and commercial development.

4. American Beauty Development Company/Standard Pacific filed an application for Amendment No. 3 to Development Review DRCDR01-04, as described in the title of this Resolution. Hereinafter in this Resolution, the subject Development Review Amendment Request is referred to as "the application."

5. On October 22, 2003, this Commission conducted a duly noticed public hearing on the application and concluded said meeting on that date.

6. All legal prerequisites prior to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is hereby found, determined, and resolved by the Planning Commission of the City of Rancho Cucamonga as follows:

1. This Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon the substantial evidence presented to this Commission during the above-referenced meeting on May 14, 2003, including written and oral staff reports, this Commission hereby specifically finds as follows:



a. The application applies to property generally bounded by Base Line Road to the north, Etiwanda Avenue to the east, Foothill Boulevard to the south, and Day Creek Channel to the west.

b. The property to the north of the subject site consists of existing single-family residential and a commercial center within the Windrows Village of the Victoria Community Plan; the property to the south is being graded for the future Victoria Gardens Regional Center (approximately 175 acres); the property to the east is vacant, unimproved land with a Low-Medium Residential designation within the Etiwanda Specific Plan; and the property to the west consists of the Day Creek Flood Control Channel and Edison utility corridor.

c. The proposed project continues to be consistent with the General Plan Mixed Use District as further defined in the Victoria Community Plan.

d. The proposed project continues to conform to the standards and regulations in the Victoria Community Plan.

e. The proposed project will continue to comply with the environmental mitigation listed in the Environmental Impact Report document entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137."

3. Based upon the substantial evidence presented to this Commission during the above-referenced public hearing and upon the specific findings of facts set forth in paragraphs 1 and 2 above, this Commission hereby finds and concludes as follows:

a. The proposed project continues to be consistent with the objectives of the General Plan; and

b. The proposed use continues to be in accord with the objectives of the Victoria Community Plan and the purposes of the district in which the site is located; and

c. The proposed use continues to be in compliance with each of the applicable provisions of the Victoria Community Plan; and

d. The proposed use together with the conditions applicable thereto will continue not to be detrimental to the health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

4. Based upon the facts and information contained in the proposed Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," together with all written and oral reports, the Planning Commission hereby approves the Addendum and finds that there is no substantial evidence that the project will have a significant effect upon the environment based upon the findings as follows:

a. That on July 7, 1999, the City Council of the City of Rancho Cucamonga adopted Resolution No. 99-148 certifying the environmental document entitled as the "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137," and on December 20, 2000, adopted Resolution No. 00-266 approving the Statement of Facts and Findings and Overriding Consideration.





b. That the Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" has been prepared in compliance with the California Environmental Quality Act of 1970, as amended, and the State CEQA guidelines promulgated thereunder; that said Addendum prepared therefore reflect the independent judgment of the Planning Commission; and, further, this Commission has reviewed and considered the information contained in said Addendum with regard to the application.

c. The Addendum to the Certified Final EIR entitled "Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137" identifies that all significant effects have been reduced to an acceptable level by imposition of mitigation measures on the project which are listed below as conditions of approval.

d. Pursuant to the provisions of Section 753.5(c) of Title 14 of the California Code of Regulations, the Planning Commission finds as follows: In considering the record as a whole, the Addendum to the Certified Final EIR entitled Final Environmental Impact Report Victoria Arbors Village SCH No. 98041137 for the project, there is no evidence that the proposed project will have potential for an adverse impact upon wildlife resources or the habitat upon which wildlife depends. Further, based upon the substantial evidence contained in the Addendum, the staff reports and exhibits, and the information provided to the Planning Commission during the public hearing, the Planning Commission hereby rebuts the presumption of adverse effect as set forth in Section 753.5(c-1-d) of Title 14 of the California Code of Regulations.

5. Based upon the findings and conclusions set forth in paragraphs 1, 2, 3, and 4 above, this Commission hereby approves the application subject to each and every condition set forth below:

Planning Division

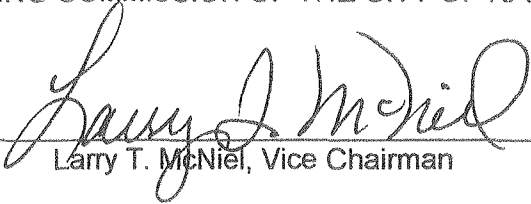
- 1) Each and every condition set forth in Planning Commission Resolutions No. 01-23, No. 03-54, and No. 03-73, including the Standard Conditions, shall remain in full force and effect.
  - 2) Each and every mitigation measures set forth in the Mitigation Monitoring Program contained in the Final EIR entitled "Final Environmental Impact Report Victoria Arbors village SCH No. 98041137" except for Mitigation Measures 4.7.3A, 4.7.3B, and 4.7.3D shall remain in full force and effect.
  - 3) All conditions of approval contained in Planning Commission Resolutions No. 01-25, No. 03-53, and No. 03-150 shall apply.
  - 4) Within 45 days of Planning Commission approval, revised Master Plan graphics incorporating the out parcels shall be submitted for City Planner review and approval. Upon acceptance by the City Planner, a total of 15 unbound hard copies and one executable copy on CDROM shall be submitted to the City.
6. The Secretary to this Commission shall certify to the adoption of this Resolution.





APPROVED AND ADOPTED THIS 22ND DAY OF OCTOBER 2003.

PLANNING COMMISSION OF THE CITY OF RANCHO CUCAMONGA

BY:   
Larry T. McNeil, Vice Chairman

ATTEST:   
Brad Buller, Secretary

I, Brad Buller, Secretary of the Planning Commission of the City of Rancho Cucamonga, do hereby certify that the foregoing Resolution was duly and regularly introduced, passed, and adopted by the Planning Commission of the City of Rancho Cucamonga, at a regular meeting of the Planning Commission held on the 22nd day of October 2003, by the following vote-to-wit:

AYES: COMMISSIONERS: FLETCHER, McNIEL, McPHAIL, STEWART

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: MACIAS

